

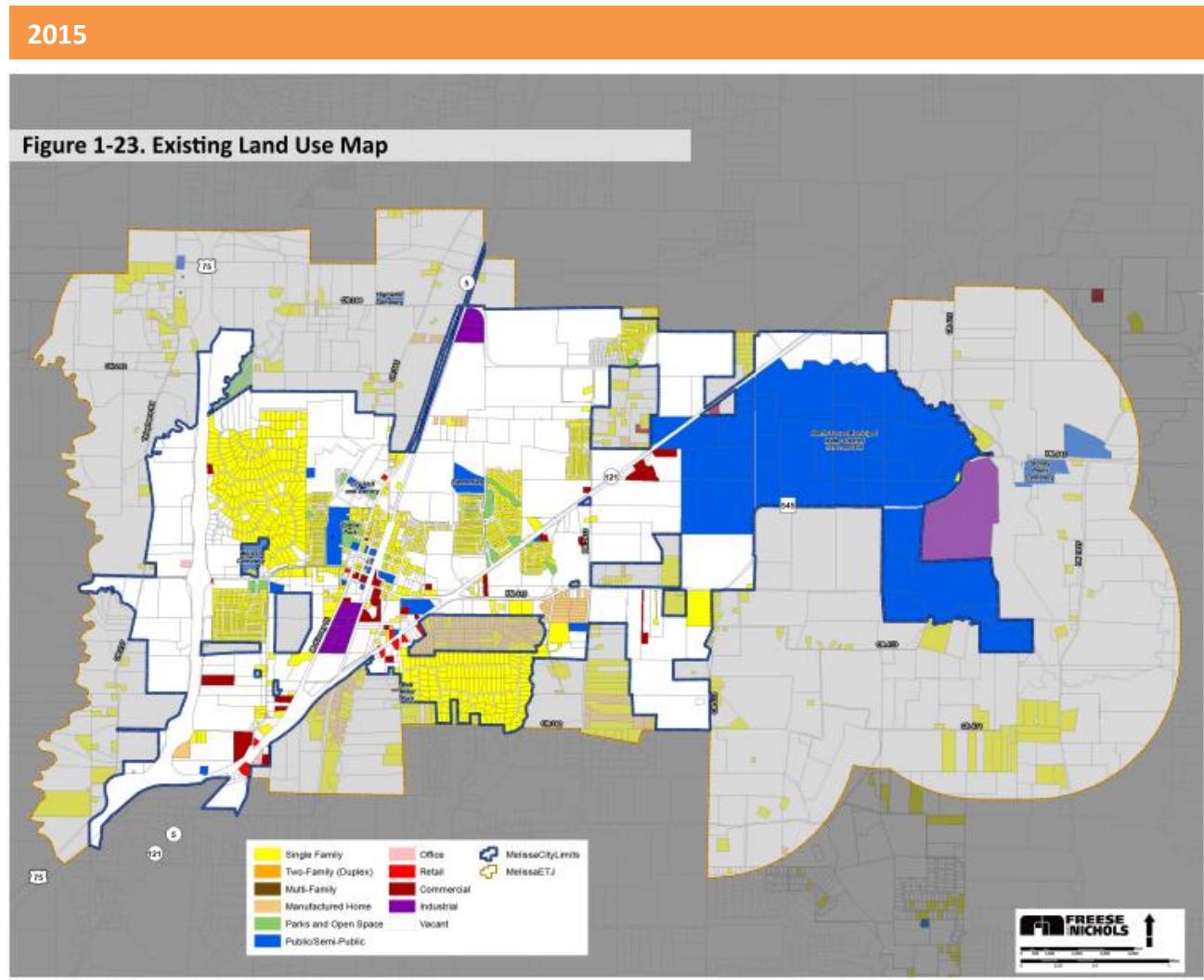
2024 City of Melissa Comprehensive Plan Update

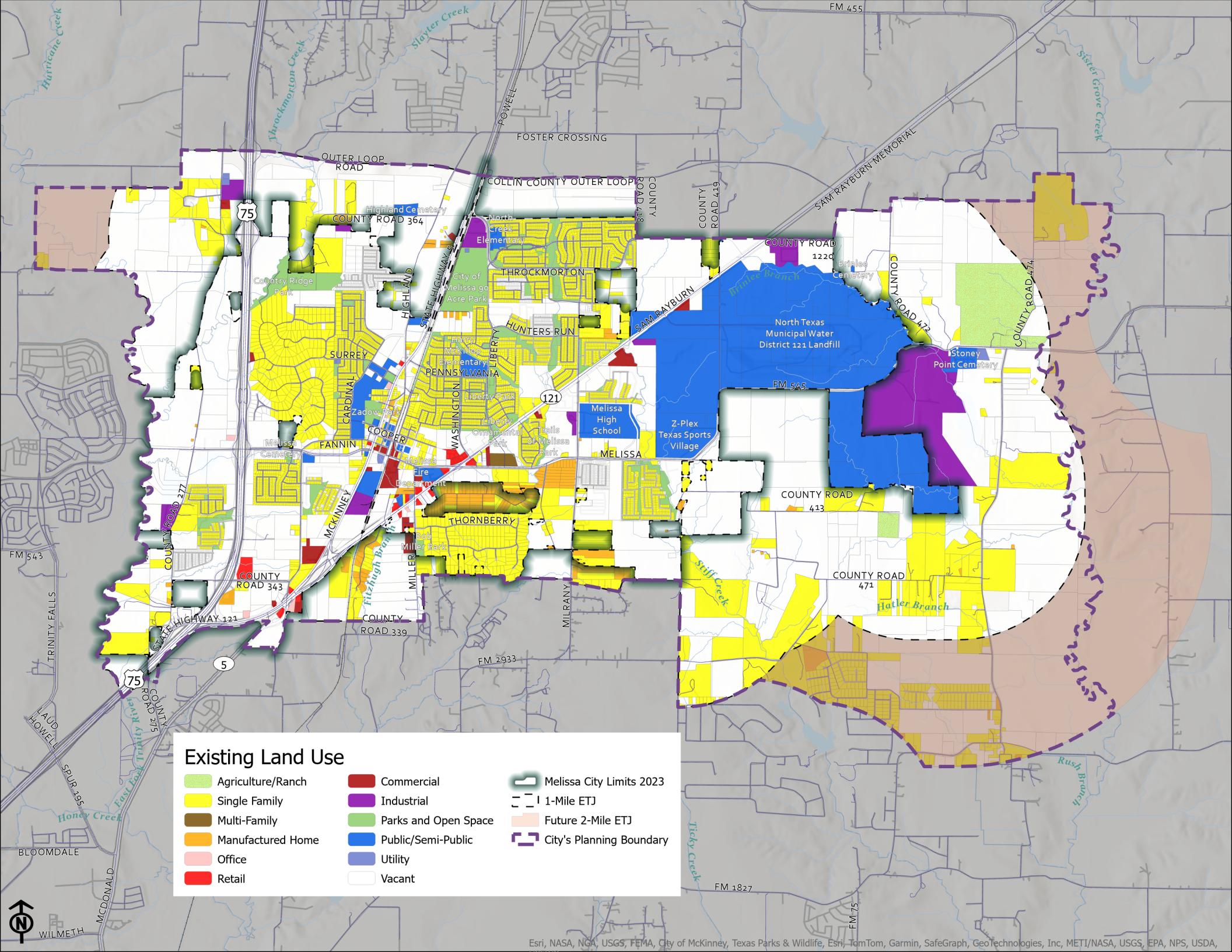
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Chapter 1: Existing Conditions Analysis

Figure 1-23. Existing Land Use Map





Existing Land Use

The legend is organized into three columns. The first column lists land use categories with corresponding colored squares: Agriculture/Ranch (light green), Single Family (yellow), Multi-Family (brown), Manufactured Home (orange), Office (pink), and Retail (red). The second column lists categories with purple squares: Commercial, Industrial, Parks and Open Space, Public/Semi-Public, Utility, and Vacant. The third column contains three items with black outlines: Melissa City Limits 2023 (a green polygon), 1-Mile ETJ (a dashed black line), Future 2-Mile ETJ (a light pink shaded area), and City's Planning Boundary (a purple polygon).

Table 1-11. Existing Land Use Acreages of City Limits and ETJ

2015

Table 1-11. Existing Land Use of City Limits and ETJ (2014)

Existing Land Use	City		ETJ		Planning Area		
	Acres	%	Acres	%	Acres	%	Acres per 100 Persons
Residential							
Single-Family	994	14%	746	8%	1,740	11%	19.7
Two-Family (Duplex)	2	0%	-	0%	2	0%	0.0
Multiple-Family	-	0%	-	0%	-	0%	-
Manufactured Home	56	1%	194	2%	250	2%	2.8
Nonresidential							
Parks and Open Space	61	1%	23	0%	83	1%	0.9
Public/Semi-Public	1,481	21%	95	1%	1,576	10%	17.9
Office	6	0%	-	0%	6	0%	0.1
Retail	13	0%	-	0%	13	0%	0.2
Commercial	88	1%	7	0%	95	1%	1.1
Industrial	60	1%	172	2%	232	1%	2.6
Right-of-Way	665	10%	220	2%	884	6%	10.0
Total Developed Acreage	3,426	49%	1,456	16%	4,882	31%	55.3
Vacant/Agricultural	3,549	51%	7,410	84%	10,959	69%	124.1
Total Acreage	6,974	100%	8,866	100%	15,840	100%	179.4

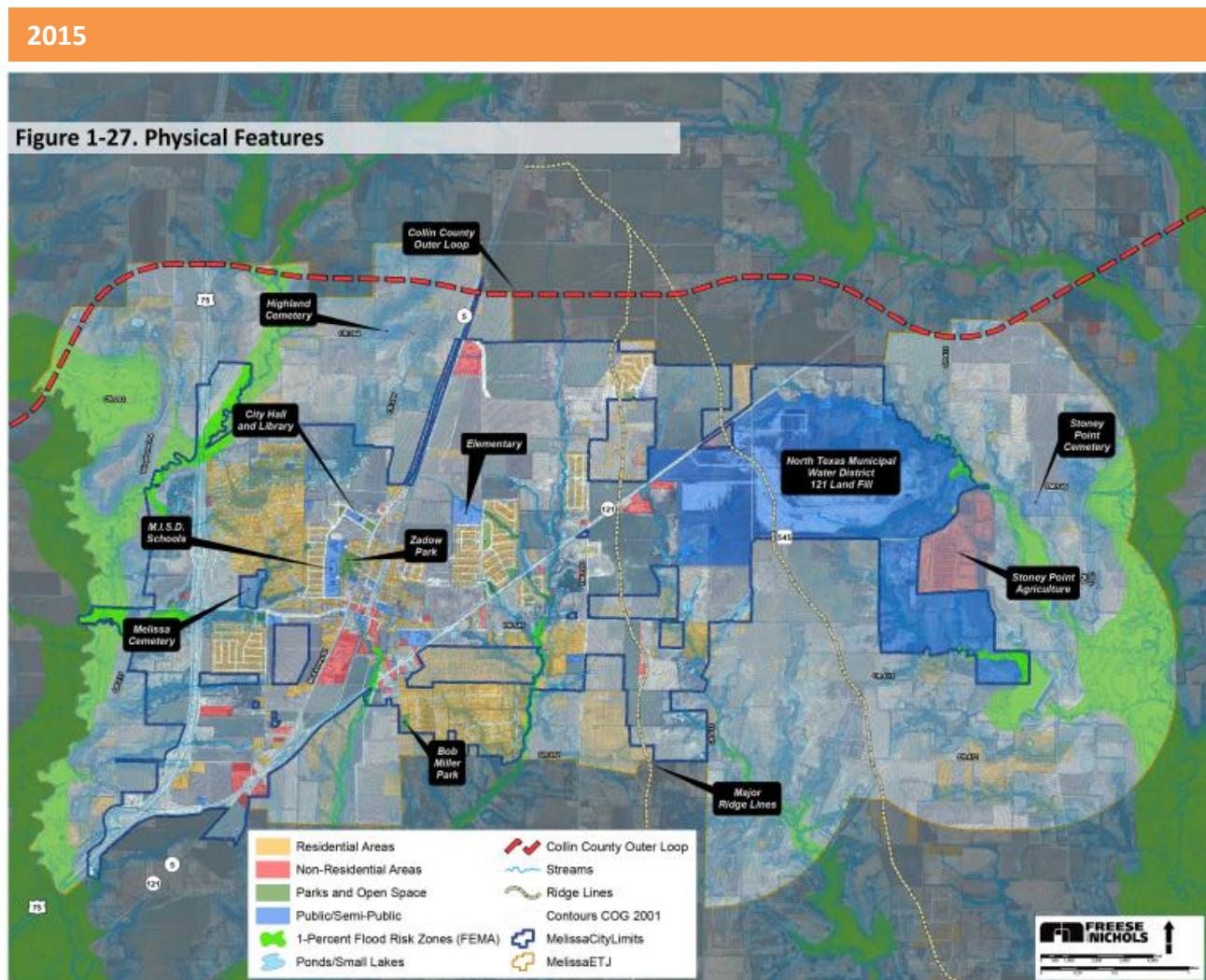
*Based on a current planning area population of 6,197

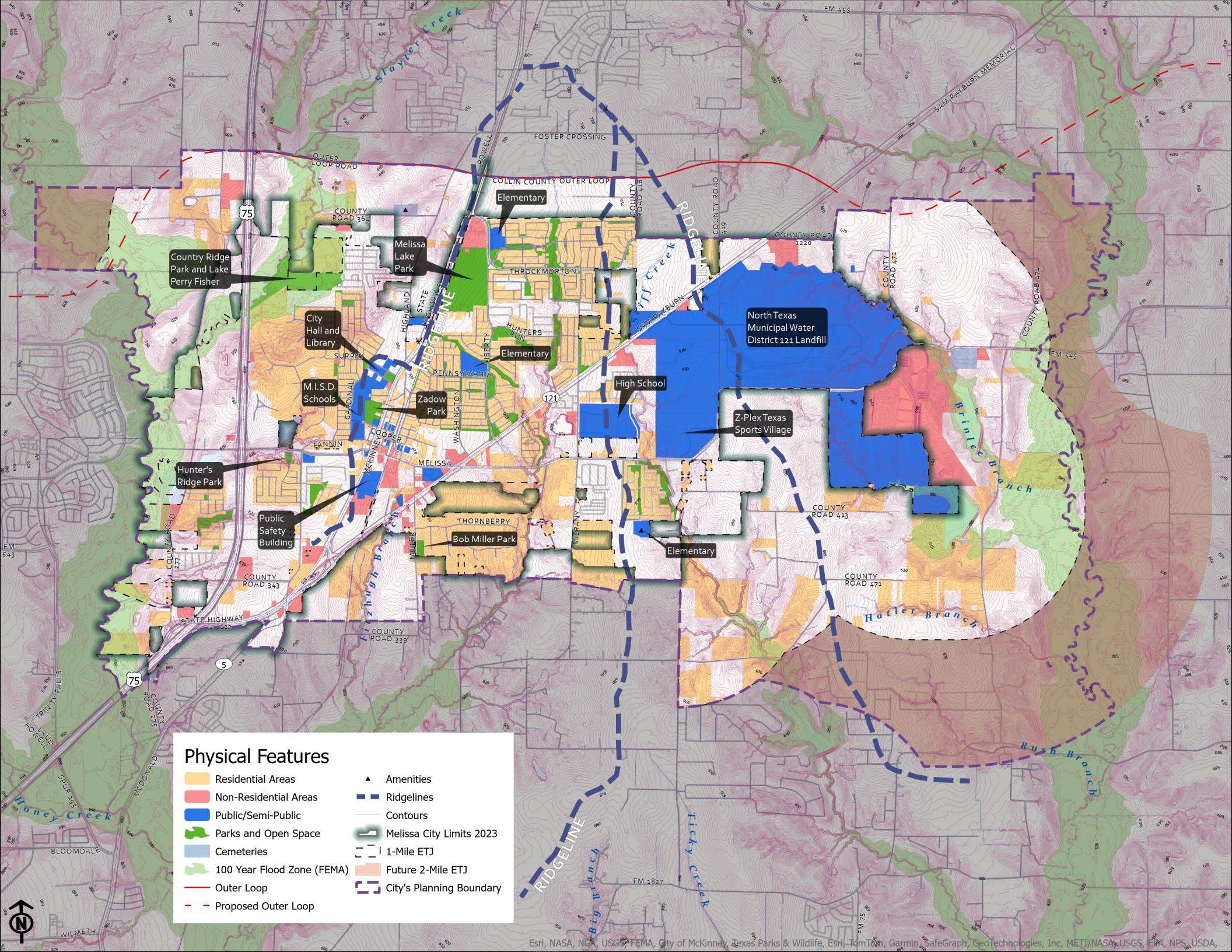
Table 1-11. Existing Land Use of City Limits and Total Planning Boundary (2023)

Existing Land Use	City Limits		Additional Planning Boundary		Total Planning Boundary		
	Acres	%	Acres	%	Acres	%	Acres/100 Residents ⁽¹⁾
Residential							
Agriculture/Ranch	0.0	0.0%	265	2.8%	265	3%	1
Single Family	1,975	23%	1,910	20%	3,885	45%	17
Multi-Family	13	0.2%	0.0	0.0%	12.9	0.1%	0.1
Manufactured Home	85	1.0%	192	2.0%	277	3%	1
Nonresidential							
Parks and Open Space	370	4%	0.2	0.0%	370	4%	2
Public/Semi-Public	1,727	20%	41	0%	1,768	20%	8
Office	10	0.1%	0.1	0.0%	9.9	0.1%	0.0
Retail	41	0.5%	2	0.0%	43	0.5%	0.2
Commercial	71	0.8%	12	0.1%	82	1%	0.4
Industrial	100	1%	344	4%	444.2	5%	2
Utility	5	0.1%	8	0.1%	14	0.2%	0.1
Right-of-Way	1,107	13%	428	4.5%	1,536	18%	7
Developed Subtotal	5,504	65%	3,203	34%	8,707	48%	38
Vacant (Inc. Buildings)	2,997	35%	6,287	66%	9,284	52%	41
Total	8,501		9,490		17,991		79

⁽¹⁾ Based on an existing Total Planning Boundary population of 22,816

Figure 1-27. Physical Features Map





Physical Features

Legend:

- Residential Areas
- Non-Residential Areas
- Public/Semi-Public
- Parks and Open Space
- Cemeteries
- 100 Year Flood Zone (FEMA)
- Outer Loop
- Proposed Outer Loop
- Amenities
- Ridgelines
- Contours
- Melissa City Limits 2023
- 1-Mile ETJ
- Future 2-Mile ETJ
- City's Planning Boundary

2015

Extraterritorial Jurisdiction

The Texas Local Government Code states that cities with a population of less than 5,000 people are granted an extraterritorial jurisdiction (ETJ) of one-half mile outside their incorporated city limits. No community can incorporate to become a city within this ETJ boundary, and no other community can extend its city limits or ETJ boundary into this area. Melissa may annex any area that is within its ETJ, but only if the area is contiguous with existing City limits. Melissa has exceeded 5,000 in population, and in accordance with the Texas Local Government Code, can extend the ETJ to one mile from the city limit boundary, however the City's growth is restricted by neighboring cities' ETJs. In addition, Texas state law grants cities the right to enforce subdivision regulations and to require right-of-way in the ETJ according to an adopted plan. The way in which annexation, subdivision regulation, and right-of-way dedication in the ETJ relate to Melissa will be discussed further in later chapters of this Plan.

The extraterritorial jurisdiction of a municipality is the unincorporated area that is contiguous to the corporate boundaries of the municipality and that is located ... within one mile of those boundaries, in the case of a municipality with 5,000 to 24,999 inhabitants.

Chapter 42 of the Texas Local Government Code

2024

Extraterritorial Jurisdiction

The Texas Local Government Code states that cities with a population between 5,000 and 24,999 people are granted an extraterritorial jurisdiction (ETJ) of one mile outside their incorporated city limits. No community can incorporate to become a city within this ETJ boundary, and no other community can extend its city limits or ETJ boundary into this area. Melissa may annex any area that is within its ETJ, but only if the area is contiguous with existing City limits and with permission from property owner in accordance with state law.

0-4,999 Residents = ½-mile ETJ

5,000-24,999 Residents = 1-mile ETJ

25,000-49,999 Residents = 2-mile ETJ

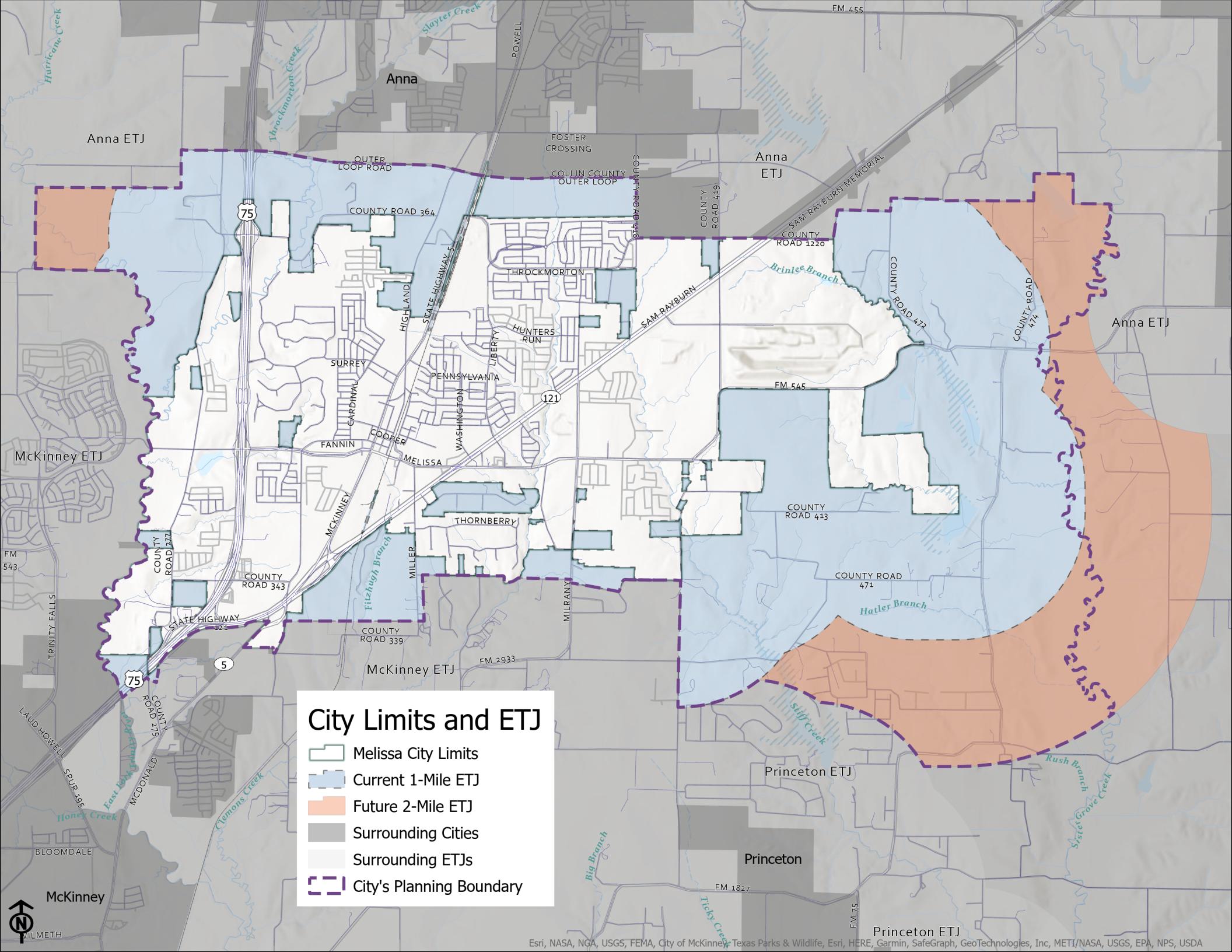
50,000-99,999 Residents = 3½ -mile ETJ

100,000+ Residents = 5-mile ETJ

Chapter 42 of the Texas Local Government Code

Melissa is quickly approaching a population of 25,000 residents, which will extend the ETJ to two miles beyond the city limits, however the City's growth is restricted by neighboring cities' ETJs. In addition, Texas state law grants cities the right to enforce subdivision regulations and to require right-of-way in the ETJ according to an adopted plan.

The City envisions the ETJ to remain a relatively rural, undeveloped area; more intensive development is intended for the City limits, which promotes land use compatibility, provision of services and infrastructure, and overall quality of life; however, the future of the ETJ in Texas is uncertain. State legislation enacted in 2023 allows properties in the ETJ to opt out of a municipality's ETJ by simply filing a petition for release with the municipality. Planning for orderly development within the ETJ is a concern for all cities that hold an undeveloped ETJ. The City will continue to closely monitor any legislation filed that relates to ETJ and respond accordingly.



City Limits and ETJ

-  Melissa City Limits
-  Current 1-Mile ETJ
-  Future 2-Mile ETJ
-  Surrounding Cities
-  Surrounding ETJs
-  City's Planning Boundary

Management of Utility Districts Discussion

2024

Growth management is one of the most important considerations for a municipality. Ensuring responsible growth and development drives a city's fiscal health, which directly affects its ability to provide the levels of service that its residents expect. The purpose of this section is to evaluate external and internal factors that affect the growth in and around the City of Melissa, and to provide recommendations that will help Melissa to maintain its quality of life.

Residents of an ETJ frequently use the nearby city's services (e.g., streets, parks, and community events); however, these residents do not pay city taxes to fund these services, meaning an additional cost burden is placed on the city's residents even when accounting for sales tax. As a result, many cities have either involuntarily annexed areas in the ETJ, or required voluntary annexation into the municipal limits in order to receive water or wastewater utility service. However, recent changes in State law have negatively impacted cities' ability to implement either of these traditional policies. In 2017 and 2019, the Texas State Legislature passed two bills that essentially prohibited cities from involuntarily annexing any land into the municipal limits. In most cases, voluntary annexation is only pursued by property owners/developers seeking services provided by the city (e.g., emergency response, street maintenance, and libraries) that are not available outside of the city in order to achieve their goals.

The City of Melissa is the responsible provider for water and wastewater utilities as the Certificate of Convenience and Necessity (CCN) holder for the vast majority of its municipal limits and most of the ETJ. A large portion of Melissa's water CCN is dually certified by North Collin Special Utility District (SUD), which means that there are some existing SUD customers inside the City and that customers in the ETJ have the option to choose either provider. The City is obligated to provide utility service to areas within its CCN and cannot require annexation in exchange for these utilities. Generally speaking, a city's CCN and municipal limits should ideally align to evenly share the cost burden for city services and infrastructure. Historically, the ETJ has been considered the future expansion area of a city and having the CCN within the ETJ area was a proper planning practice. However, with the state law changes cities can no longer plan to be able to recoup the investment in the ETJ and tax paying citizens will subsidize non-taxpaying ETJ residents.

In response to the above conditions, the City of Melissa should consider the following options:

- 1) Explore swapping or trading the City's CCN through a CCN trade agreement with the surrounding municipalities to align service areas with each city's ETJ; and
- 2) Implement increased water/wastewater rates and impact fees in the ETJ to offset the cost of services consumed by residents who do not pay city taxes.

Another related consideration is municipal utility districts (MUDs), which are political subdivisions that are not part of a municipality. Within MUDs, the developer funds and constructs all infrastructure (e.g., water, wastewater, streets, parks, and drainage) through a bond, which is eventually paid by the MUD's future property owners. The MUD's property owners are then responsible for the maintenance of the infrastructure indefinitely. Cities have the authority to approve or prohibit MUDs in their ETJs; therefore, it is important that cities have clear and consistent policies related to their establishment.

Positive considerations related to MUDs include the following:

- **Growth pays its own way** – Most single-family residential development does not pay for itself – that is, the cost to serve and maintain a subdivision and its infrastructure indefinitely often exceeds the

revenues generated by the development, resulting in a fiscal deficit that must be offset by other revenue sources. MUDs ensure that single-family residential property owners pay for all of their own services.

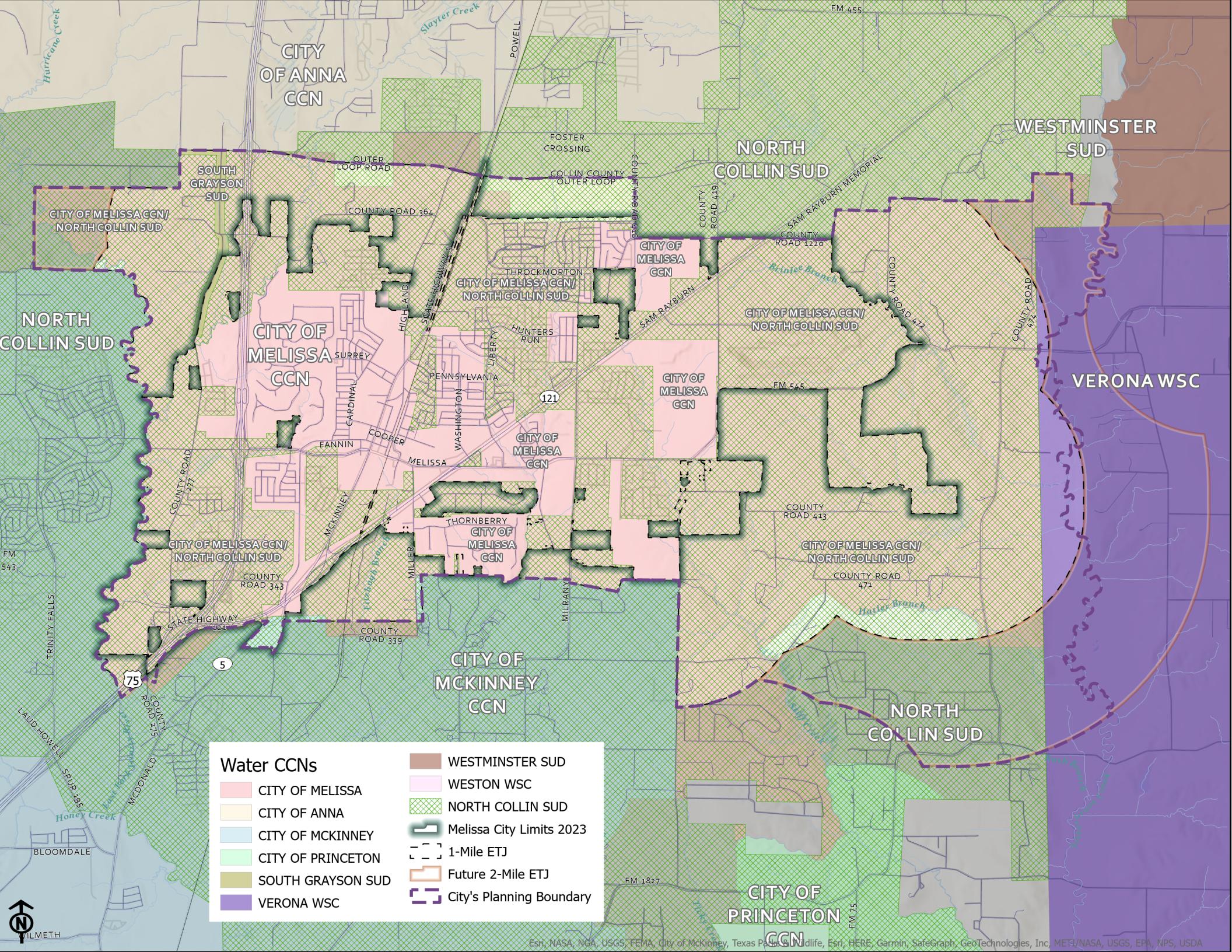
- **Potential for higher quality development** – MUDs can result in higher-quality subdivisions if the developer and property owners choose to provide the necessary funding, as the construction and maintenance of private infrastructure can exceed a city's standards and resources.
- **Financing tool** – MUDs enable a developer to create a development that may not have otherwise been financially feasible. By transferring the debt obligation to the property owners, the developer is able to finance a larger project.

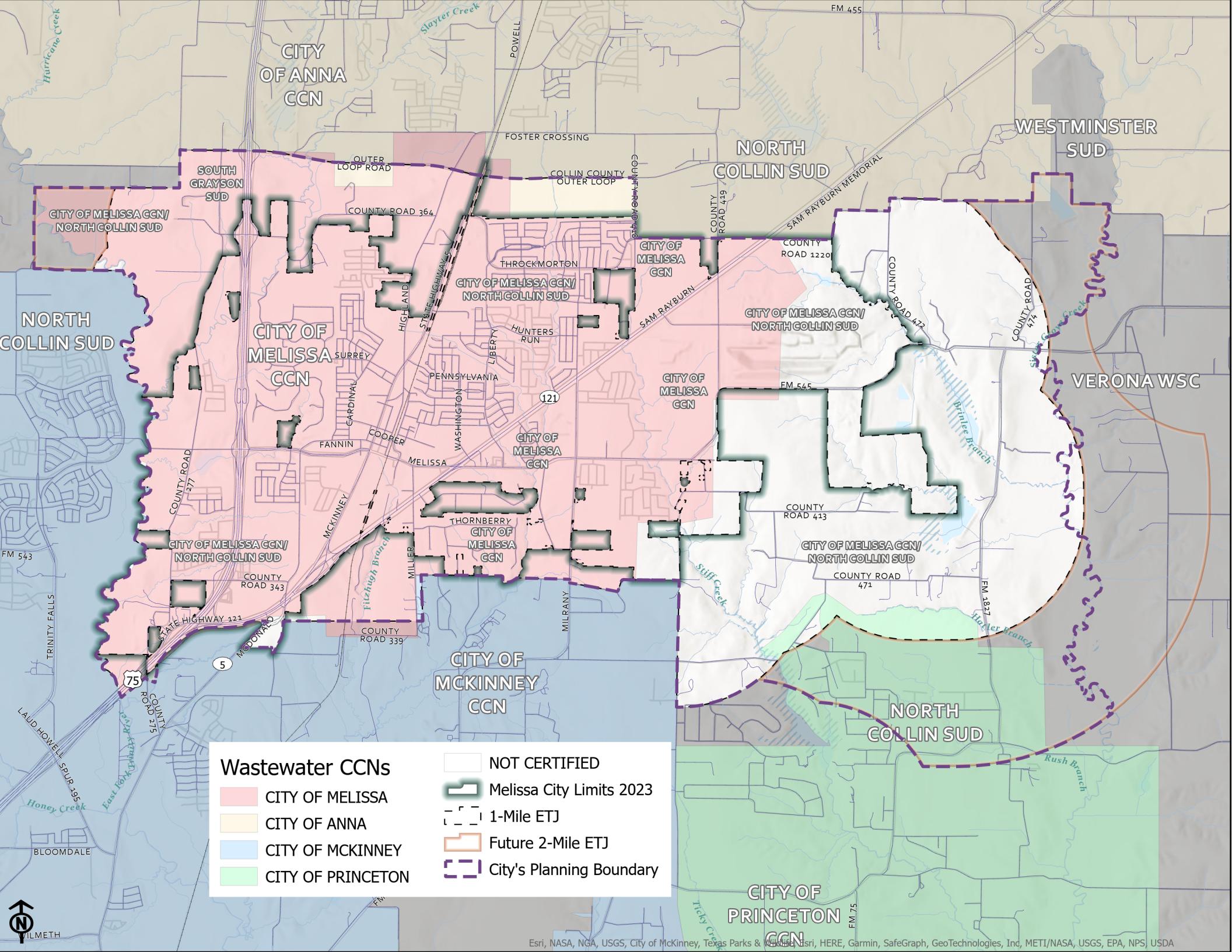
Negative considerations related to MUDs include the following:

- **Lack of benefit** – MUDs do not contribute to a city; there is no tax revenue, no utility revenue, and no voters.
- **Use of municipal services** – MUD residents will often still use municipal services (e.g., streets, parks, and community events) without paying city taxes.
- **Impact on homebuyers** – Many homebuyers may be unaware of the additional ongoing costs imposed by a MUD to fund the infrastructure.
- **Lack of control** – A city has no long-term control of the MUD once it has been approved. Upon request by the MUD, a city can opt to annex a MUD; however, careful consideration of the MUD's finances and infrastructure is needed prior to annexation.

The City should draft and adopt a resolution that states its policy regarding MUDs. It is recommended that the policy require that a proposed MUD must:

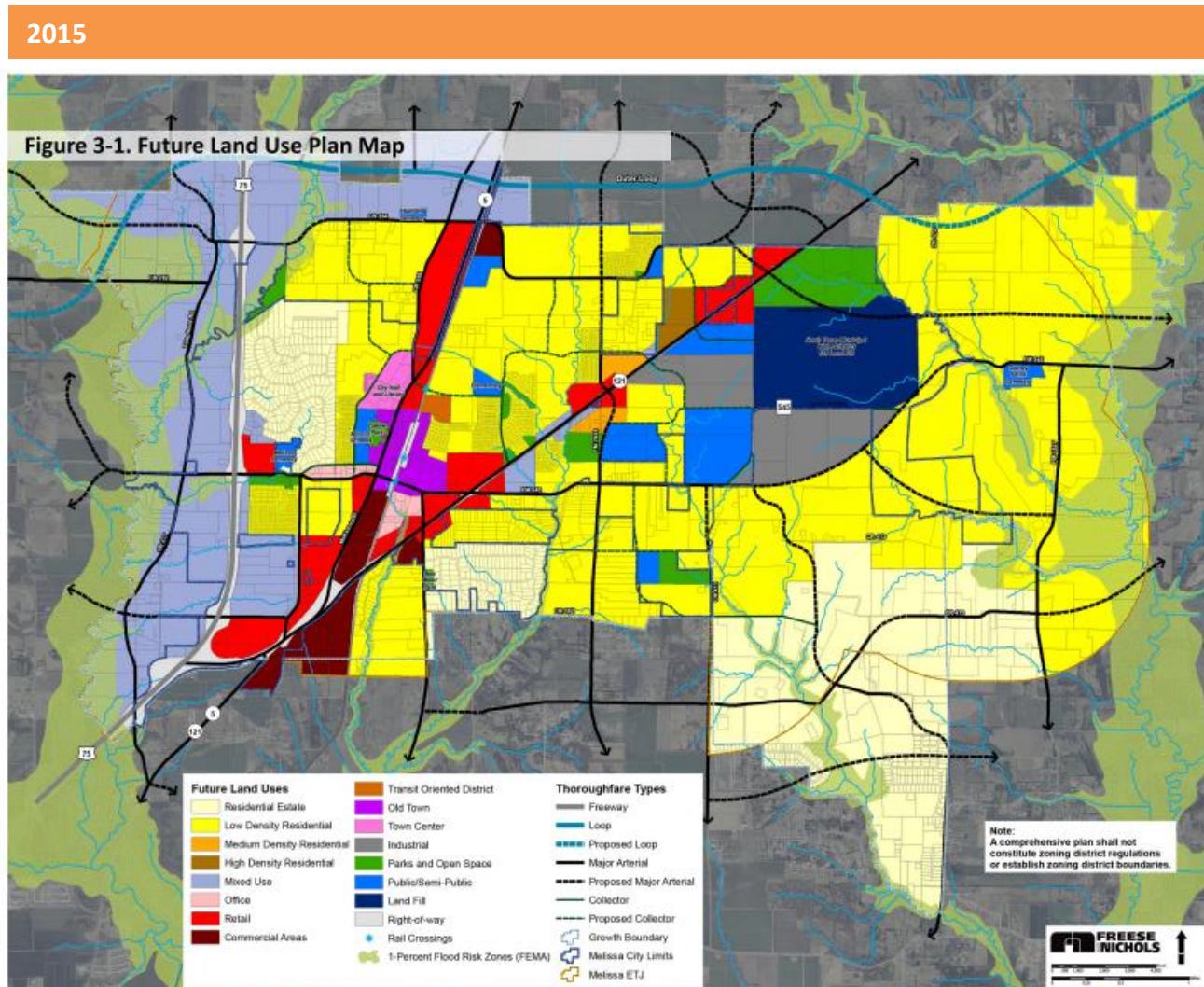
- Provide a benefit to the City beyond that of a typical development;
- Align with the intent of the City's Comprehensive Plan;
- Provide substantial public benefits (e.g., low-impact development, open space/recreational amenities, housing variety, and/or enhanced infrastructure);
- Utilize the City's utility retail services; and
- Meet or exceed the City's development standards and infrastructure design criteria.

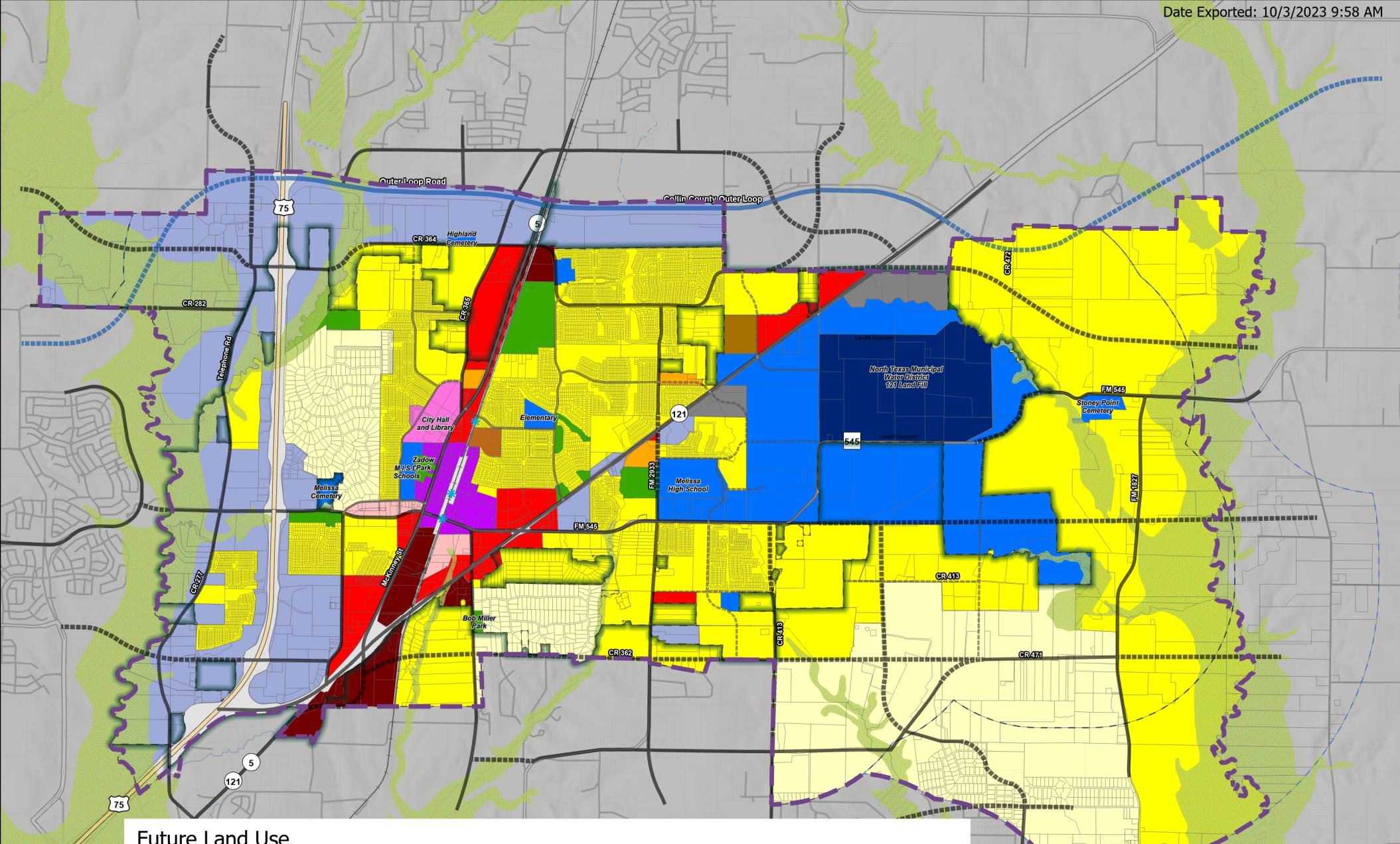




Chapter 3: Future Land Use Plan

Figure 3-1. Future Land Use Plan Map





Future Land Use

- Residential Estate
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Mixed Use
- Old Town
- Town Center
- Transit Oriented District
- Parks and Open Space
- Public/Semi-Public

- Office
- Retail
- Commercial
- Industrial
- Land Fill
- State Highway Right-of-Way
- Unplanned Area
- 1-Percent Flood Risk Zones (FEMA)

- Melissa City Limits
- Current 1-Mile ETJ
- Future 2-Mile ETJ
- City's Planning Boundary

- Rail Crossings
- Freeway
- Loop
- Proposed Loop
- Major Arterial
- Proposed Major Arterial
- Collector
- Proposed Collector

Note:
A comprehensive plan shall not constitute zoning district regulations or establish zoning district boundaries.

Table 3-1. Future Land Use Acreages of City Limits and Planning Boundary

2015

Table 3-1. Future Land Use Acreages

Future Land Use	City		ETJ		Planning Area		
	Acres	%	Acres	%	Acres	%	Acres per 100 Persons
Residential							
Estate Density Residential	702	10%	1,261	14%	1,963	11%	1.6
Low Density Residential	2,223	32%	3,929	44%	6,152	38%	5.2
Medium Density Residential	72	1%	4	0%	76	0%	0.1
High Density Residential	69	1%	-	0%	69	0%	0.1
Nonresidential							
Parks and Open Space	360	5%	4	0%	364	2%	0.3
Public/Semi-Public	443	6%	59	1%	502	3%	0.4
Landfill	581	8%	-	0%	581	3%	0.5
Office	70	1%	-	0%	70	0%	0.1
Retail	513	7%	146	2%	659	4%	0.6
Old Town	148	2%	-	0%	148	1%	0.1
Town Center	80	1%	-	0%	80	0%	0.1
Mixed Use	722	10%	1,700	19%	2,422	16%	2.0
Transit-Oriented Development (TOD)	32	0%	-	0%	32	0%	0.0
Commercial	171	2%	105	1%	276	2%	0.2
Industrial	116	2%	200	2%	316	2%	0.3
Floodplain	190	3%	1,358	15%	1,548	13%	1.3
Highway Right-of-Way Estimate	482	7%	100	1%	582	3%	0.5
Total Acreage	6,974	100%	8,866	100%	15,840	100%	13.3

*Based on a build-out population of 119,072, see Table 3-5. Projected Ultimate Capacity within the Current City Limits, ETJ, and Total Planning Area

2024

Table 3-1. Future Land Use Acreages

Future Land Use	City Limits		Planning Boundary		Total Planning Area		
	Acres	%	Acres	%	Acres	%	Acres/100 Residents ⁽¹⁾
Residential							
Residential Estate	694	8%	2,233	24%	2,928	16%	3.2
Low Density Residential	2,941	35%	4,677	49%	7,618	42%	8.4
Medium Density Residential	48	1%	0.0	0.0%	48	0.3%	0.1
High Density Residential	39	0.5%	0.3	0.0%	39	0.2%	0.0
Mixed Use							
Mixed Use	1,329	16%	1,900	20%	3,229	18%	3.6
Old Town	139	2%	0.0	0.0%	139	1%	0.2
Town Center	72	1%	0.0	0.0%	72	0.4%	0.1
Transit Oriented Development	22	0.3%	0.0	0.0%	22	0.1%	0.0
Nonresidential							
Parks and Open Space	233	3%	0.0	0.0%	233	1%	0.3
Public/Semi-Public	1,178	14%	365	4%	1,543	9%	1.7
Office	67	1%	0.0	0.0%	67	0.4%	0.1
Retail	379	4%	131	1%	510	3%	0.6
Commercial	160	2%	99	1%	259	1%	0.3
Industrial	132	2%	2	0.0%	134	0.7%	0.1
Landfill	570	7%	0.0	0.0%	570	3%	0.6
State Highway Right-of-Way	498	6%	83	1%	581	3%	0.6
Total	8,501		9,490		17,991		19.9

⁽¹⁾ Based on a Total Planning Boundary ultimate capacity population of 90,406

2024

The housing stock in the City of Melissa today is predominately single-family dwellings. Offering a variety of housing options allows residents to live in Melissa through their entire lives – from young professionals to families to seniors. It also helps support a housing market that supports providing a diversified workforce meeting the economic needs of a wide range of employers. Eight multi-family projects are currently under construction in Melissa, with completion anticipated in mid-2024. These developments will bring more than 2,000 units to the City, providing a substantial amount of housing variety.

The Mixed Use future land use category notes that approximately 20 percent of the area should include residential development, including townhomes and multiple-family above retail or office uses with a density of approximately 20 dwelling units per acre. The City should evaluate the zoning ordinance to ensure that quality development projects with townhomes and mixed-use development are permitted in appropriate locations within the designated Mixed Use area (i.e., those areas with close access to amenities and services, at larger intersections, and in pedestrian-oriented neighborhoods). The City should also establish standards to ensure high quality townhome and mixed-use development, including enhanced recreational amenities, adequate covered parking, landscaping, architectural design elements, and incentives for masonry building materials.

Table 3-4. Population Growth Projection Scenarios

2015			
Year	6%	10%	15%
2014	7,755	7,755	7,755
2015	8,221	8,531	8,919
2016	8,714	9,384	10,256
2017	9,237	10,322	11,795
2018	9,791	11,354	13,564
2019	10,378	12,490	15,599
2020	11,001	13,739	17,938
2021	11,661	15,113	20,629
2022	12,361	16,624	23,723
2023	13,102	18,286	27,282
2024	13,888	20,115	31,374
2025	14,722	22,127	36,080
2026	15,605	24,339	41,493
2027	16,541	26,773	47,716
2028	17,534	29,451	54,874
2029	18,586	32,396	63,105
2030	19,701	35,635	72,571
2031	20,883	39,199	83,456
2032	22,136	43,119	95,975
2033	23,464	47,430	110,371

2024			
Year	8%	13%	15%
2022*	21,290	21,290	21,290
2023	22,993	24,058	24,484
2024	24,833	27,185	28,156
2025	26,819	30,719	32,379
2026	28,965	34,713	37,236
2027	31,282	39,225	42,822
2028	33,785	44,325	49,245
2029	36,487	50,087	56,632
2030	39,406	56,598	65,127
2031	42,559	63,956	74,896
2032	45,964	72,270	86,130
2033	49,641	81,665	90,406
2034	53,612	90,406	90,406
2035	57,901	90,406	90,406
2036	62,533	90,406	90,406
2037	67,535	90,406	90,406
2038	72,938	90,406	90,406
2039	78,773	90,406	90,406
2040	85,075	90,406	90,406
2041	90,406	90,406	90,406
2042	90,406	90,406	90,406

Table 3-4. Population Growth Projection Scenarios

Year	8%	13%	15%
2022*	21,290	21,290	21,290
2023	22,993	24,058	24,484
2024	24,833	27,185	28,156
2025	26,819	30,719	32,379
2026	28,965	34,713	37,236
2027	31,282	39,225	42,822
2028	33,785	44,325	49,245
2029	36,487	50,087	56,632
2030	39,406	56,598	65,127
2031	42,559	63,956	74,896
2032	45,964	72,270	86,130
2033	49,641	81,665	90,406
2034	53,612	90,406	90,406
2035	57,901	90,406	90,406
2036	62,533	90,406	90,406
2037	67,535	90,406	90,406
2038	72,938	90,406	90,406
2039	78,773	90,406	90,406
2040	85,075	90,406	90,406
2041	90,406	90,406	90,406
2042	90,406	90,406	90,406

Note: Shading indicates projections that would exceed the estimated ultimate capacity.

*2022 population calculated by adding the 2020 Census population (13,941) to the number of building permits issued between May 2020 and August 2022 (2,148) multiplied by the 2020 ACS occupancy rate (97.2%) and population per household (3.52)

Historic Growth Rates

2000-2010 CAGR: 13.3%

2010-2020 CAGR: 11.5%

2014-2022 CAGR: 13.6%

Table 3-5. Projected Ultimate Capacity within the City Limits, ETJ, and Planning Area

2015

Table 3-5. Projected Ultimate Capacity within the Current City Limits, ETJ, and Total Planning Area

Type of Lot	Vacant Acres or Number of Lots	Average DUA	Occupancy Rate	Persons Per Household	Estimated Future Population in
City Limits					
Estate Density	119	1	93.7%	3.35	374
Low Density	1,601	3.5	93.7%	3.35	17,589
Medium Density	59	8	93.7%	3.35	1,482
High Density	39	15	93.7%	3.35	1,836
Mixed Use*	150	20	93.7%	3.35	9,417
Vacant Platted Lots	281	-	93.7%	3.35	882
Future Population that can be Accommodated in the Existing City Limits					31,579
Current Population in the Existing City Limits					7,755
Capacity Population in the Existing City Limits					39,335
ETJ					
Estate Density	1,916	1	93.7%	3.35	6,014
Low Density	4,146	3.5	93.7%	3.35	45,549
Medium Density	2	8	93.7%	3.35	43
High Density	-	15	93.7%	3.35	-
Mixed Use*	431	20	93.7%	3.35	27,058
Vacant Platted Lots	-	-	93.7%	3.35	-
Future Population that can be Accommodated in the Existing ETJ					78,664
Current Population in the Existing ETJ					1,074
Capacity Population in the Existing ETJ					79,737
Total Planning Area					
Capacity in the Existing Planning Area					119,072

**Mixed Use assumes 20% of the acreage will be residential development.*

Table 3-5. Projected Ultimate Capacity within the Current City Limits and Total Planning Boundary

	Vacant Acres	% Acres Res.	% ROW Excluded	Average DUA	Future Dwellings	Occupancy Rate ⁽¹⁾	Future Households	Persons Per Household ⁽¹⁾	Future Population
City Limits									
Residential Estate	51	99%	5%	1	48	97.2%	46	3.52	163
Low Density Residential	1,202	95%	10%	3.5	3,596	97.2%	3,496	3.52	12,305
Medium Density Residential	30	90%	15%	8	186	97.2%	181	3.52	637
High Density Residential	39	85%	20%	15	397	97.2%	386	2.20	848
Mixed Use	1,081	20%	20%	20	3,461	97.2%	3,364	2.20	7,400
Old Town	28	60%	20%	8	108	97.2%	105	2.20	232
Town Center	32	25%	20%	8	51	97.2%	50	2.20	110
Transit Oriented Development	0.2	60%	20%	32	3	97.2%	3	2.20	7
Additional Future Population in the Existing City Limits									21,701
Current Population in the Existing City Limits									21,290
Ultimate Capacity in the Existing City Limits									42,992
Additional Planning Boundary									
Residential Estate	1,138	99%	5%	1	1,071	97.2%	1,041	3.52	3,663
Low Density Residential	3,139	95%	10%	3.5	9,392	97.2%	9,129	3.52	32,135
Medium Density Residential	0.0	90%	15%	8	0.0	97.2%	0.0	3.52	0.0
High Density Residential	0.3	85%	20%	15	3	97.2%	3	2.20	6
Mixed Use	1,474	20%	20%	20	4,716	97.2%	4,584	2.20	10,084
Old Town	0.0	60%	20%	8	0.0	97.2%	0.0	2.20	0
Town Center	0.0	25%	20%	8	0.0	97.2%	0.0	2.20	0.0
Transit Oriented Development	0.0	60%	20%	32	0.0	97.2%	0.0	2.20	0.0
Additional Future Population in the Additional Planning Boundary									45,888
Current Population in the Additional Planning Boundary									1,526
Ultimate Capacity in the Additional Planning Boundary									47,414
Total Planning Boundary (City + Additional Planning Boundary)									
Additional Future Population in the Total Planning Boundary									67,589
Current Population in the Total Planning Boundary									22,816
Ultimate Capacity in the Total Planning Boundary									90,406
⁽¹⁾ Occupancy rate and persons per household are based on the 2020 American Community Survey 5-year estimates. Higher density persons per household calculated based on City estimates.									

2015

Ultimate Population Capacity

Melissa has a large amount of vacant land area (approximately 70 percent of the total planning area), much of which is designated for residential land use, or for a mix of land use that includes residential (refer to the Future Land Use Plan Map, **Figure 3-1**). The City also has some ETJ area within which the City can grow geographically. Therefore, both the vacant area within the City limits and the ETJ provide developable land for population growth. In order to guide the City in planning for how many people will ultimately have to be supported, an assessment of Melissa's ultimate population is provided. There are several factors considered in the calculation of ultimate population capacity, as well as several assumptions. Considerations include vacant/agricultural areas (shown on the Existing Land Use map in Chapter 1), and areas planned for residential, transit-oriented, and mixed use development (shown on the Future Land Use Plan Map). Assumptions include the following:

- Various densities for each type of lot – these are listed under the Average Number of Dwelling Units per Acre column.
- Occupancy rates and average household size information – this is from the latest U.S. Census (2010).
- Completion of platted and planned developments that have already been approved by the City.

These assumptions have been used to calculate the projected population capacity for within the City limits and ETJ.

Table 3-5 shows the calculation of ultimate population capacity within the City limits and the ETJ as they exist today. With additional population accommodated within vacant areas, and with the City's 2014 estimated population of about 7,755 people, Melissa's ultimate population capacity within the existing City limits is approximately 34,410 people. Including the ETJ population and land, the ultimate capacity, or build-out population, for **Melissa's planning area is approximately 119,072 residents**.

2024

Melissa has a large amount of vacant land area (approximately 53 percent of the total planning area), much of which is designated for residential land use, or for a mix of land use that includes residential (refer to the Future Land Use Plan Map). The City also has existing and additional future ETJ areas within which the City can grow geographically. Therefore, both the vacant area within the City limits and the ETJ provide developable land for population growth. In order to guide the City in planning for how many people will ultimately have to be supported, an assessment of Melissa's ultimate population is provided. There are several factors considered in the calculation of ultimate population capacity, as well as several assumptions. Considerations include vacant/agricultural areas (shown on the Existing Land Use map in Chapter 1), and areas planned for residential and mixed use development (shown on the Future Land Use Plan Map). Assumptions include the following:

- Various densities for each type of lot – these are listed under the Average Number of Dwelling Units per Acre column.
- The percentage of land anticipated to develop as residential
- The percentage of land likely needed for future right-of-way dedication

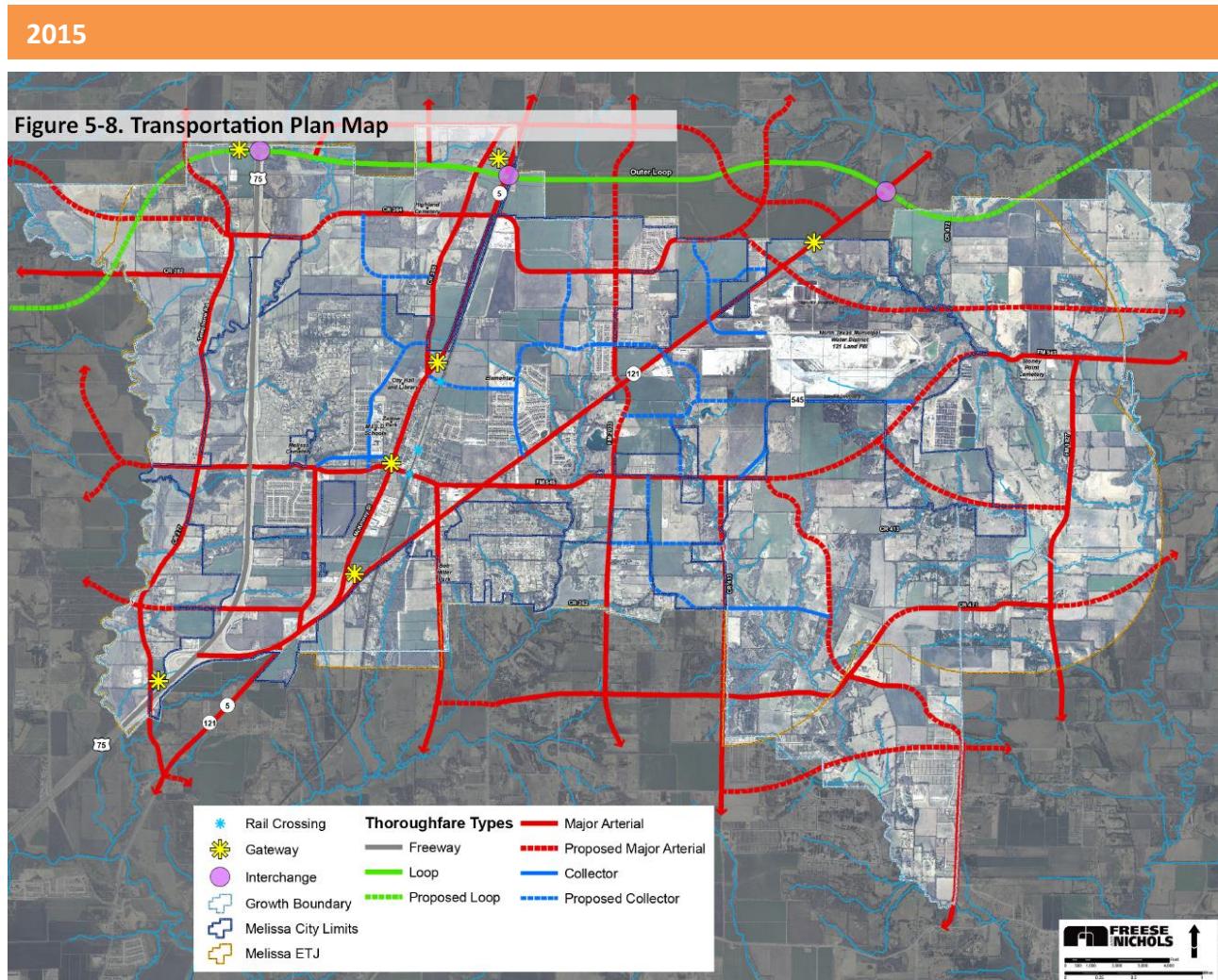
- Occupancy rates and average household size information).

These assumptions have been used to calculate the projected population capacity for within the City limits and ETJ. As referenced earlier in the Plan, the future of the ETJ in Texas is uncertain. Should the concept of an ETJ in Texas law continue to be eroded, the ETJ population, and thus the ultimate population, could change dramatically.

Table 3-5 shows the calculation of ultimate population capacity within the City limits and the existing and anticipated future ETJ areas. With additional population accommodated within vacant areas, and with the City's 2022 estimated population of about 21,290 people, Melissa's ultimate population capacity within the existing City limits is approximately 42,992 people. Including the existing and anticipated future ETJ population and land, the ultimate capacity, or build-out population, for **Melissa's total planning boundary is approximately 90,406 residents.**

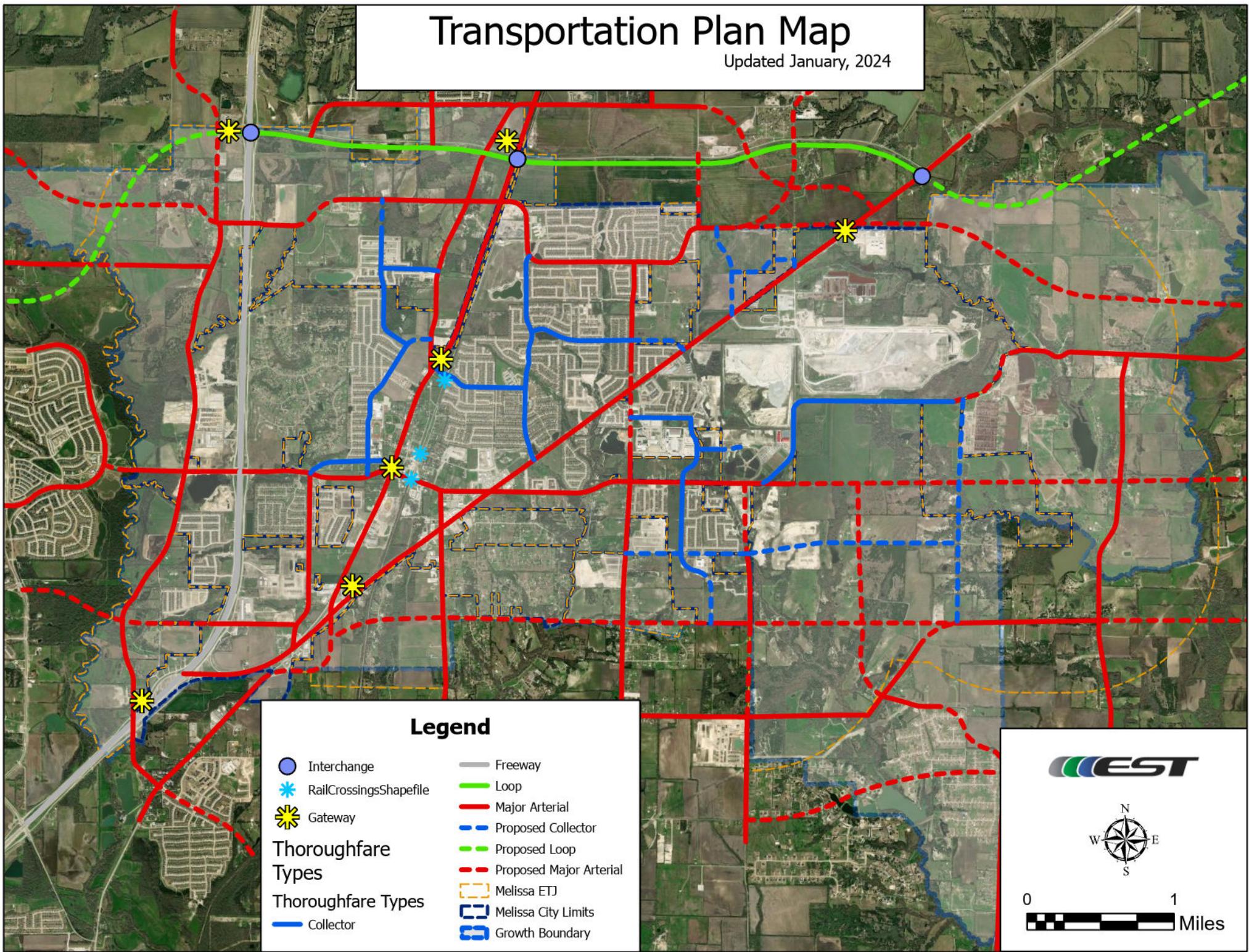
Chapter 5: Transportation Plan

Figure 5-8. Transportation Plan Map



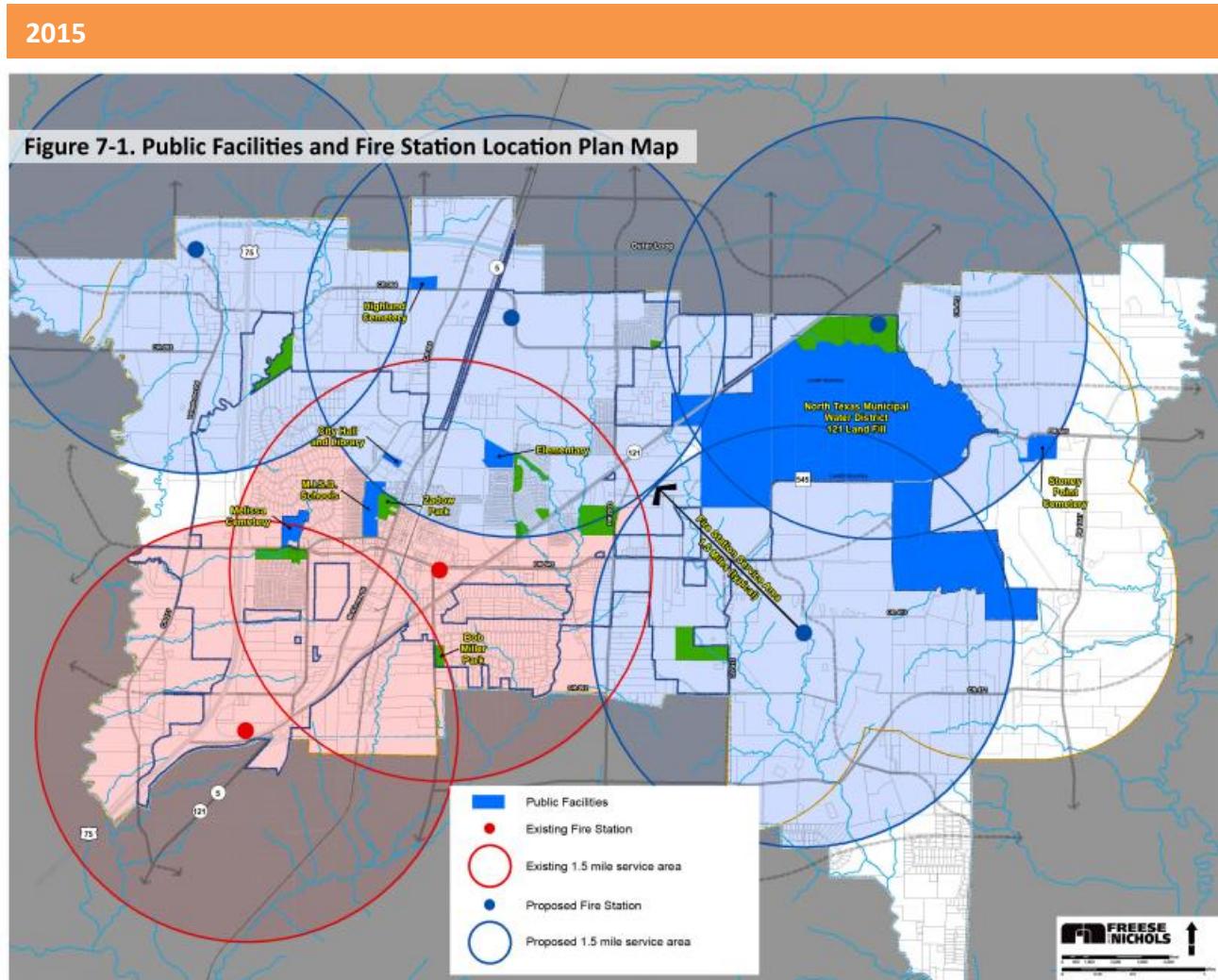
Transportation Plan Map

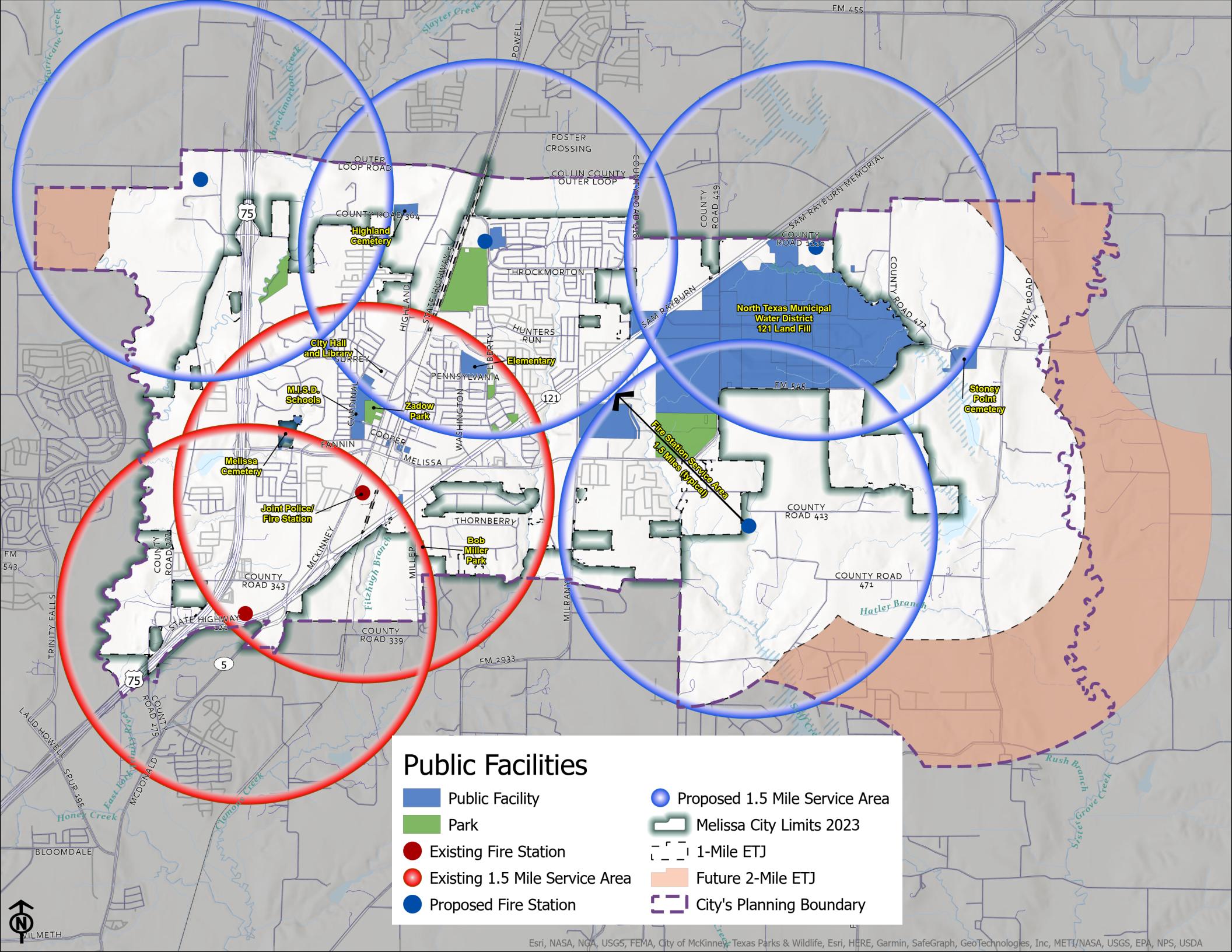
Updated January, 2024



Chapter 7: Public Services and Facilities Plan

Figure 7-1. Public Facilities and Fire Station Location Plan Map





Public Facilities

Legend:

- Public Facility
- Park
- Existing Fire Station
- Existing 1.5 Mile Service Area
- Proposed Fire Station
- Proposed 1.5 Mile Service Area
- Melissa City Limits 2023
- 1-Mile ETJ
- Future 2-Mile ETJ
- City's Planning Boundary

Chapter 9: Implementation Plan

Table 9-1. Top Priorities

2015

Table 9-1. Top Priorities

<i>Implementation Action</i>	<i>Chapter Reference</i>	<i>Policy Reference</i>	<i>Timeframe</i>
Establish and use a checklist for determining whether to approve or deny rezoning proposals.	3: Future Land Use Plan	LU9.1	Immediate
Ensure that the subdivision regulations are enforced uniformly in the City limits and ETJ.	4: Utilities	U2.2	Immediate
Develop a capital improvement plan (CIP) for trails, and complete the trail length through the Town Center.	5: Transportation Plan 6: Parks & Trails Plan 8: City Center Concept Plan	T2.1 PT2.1 C1.1	1-2 Years
Plan for a new library facility (in the Town Center area) within the next five years, and construct the new facility within 10 years.	7: Public Services & Facilities	PS2.3	2-5 Years
Prioritize park and trail improvements.	6: Parks & Trails Plan	PT8.1	2-5 Years
Develop an Old Town Master Plan.	8: City Center Concept Plan	C2	2-5 Years
Create a City Center Association.	8: City Center Concept Plan	C3.1	2-5 Years
Update Zoning Regulations related to Old Town and the City's existing Historic District.	3: Future Land Use Plan 8: City Center Concept Plan	LU4.1, C4.1	2-5 Years
Work with the development community to provide a variety of housing types, individualized housing products, and unique residential areas.	3: Future Land Use Plan 6: Parks & Trails Plan	LU1.1, LU1.2, PT1.1, PT1.2	On-Going

Table 9-1. Top Priorities

Implementation Action	Chapter Reference	Policy Reference	Timeframe
Encourage unique retail development with sustainable characteristics	3: Future Land Use Plan	LU2.1	Ongoing
Promote residential, public/semi-public, retail, and office land uses within the Old Town Melissa/Downtown Overlay District	3: Future Land Use Plan	LU4.1	Ongoing
Pursue the development of quality retail uses	3: Future Land Use Plan	LU6.2	Ongoing
Require connectivity between all types of development	3: Future Land Use Plan	LU7.1	Ongoing
Continue to monitor and increase water and wastewater service availability	4: Utilities	U1.1, U1.2	Ongoing
Actively pursue the establishment of a City-wide trail system	5: Transportation Plan 6: Parks & Trails Plan	T2.1, PT2.1	Ongoing
Ensure that the City of Melissa has active participation and representation in making decisions about roadway infrastructure in the region	5: Transportation Plan	T6.1	Ongoing