

Downtown Overlay District - Regulating Plan
Melissa TX | DRAFT



ARCHITECTURAL PROTOTYPE: MERCANTILE BUILDING, 1 STORY {Figure 16}

Description: Commercial architecture that is similar to turn of the century small town commercial architecture.

Type may be free standing but is often constructed with zero lot line setbacks at the sides and shares a party wall with adjacent modules. Large display windows dominate the front facade of the building with recessed entrance(s).

Massing: Simple massing with parapet walls concealing low slope roof beyond. Parapet walls may be stepped to follow sloping roof at sides and may have profiles at front to emphasize signage or ornament. Mercantile modules at corners of major intersections (one street shall be an arterial or collector) shall have two front elevations for the purposes of these design standards.

Height: Maximum one story and no more than 20 feet in height, including all parapet walls and signage.

Width: Maximum building width facing street – 50 foot module. See Figure 16 of DOD Design Guidelines. Modules can be connected with fire-rated party walls to form a single building up to 150 feet wide.

Façade Depth: Other than for recessed entrances within the module, columns, pilasters, cornices and other projecting or receding elements of the façade shall vary by no more than 2 feet from the average face of the facade.

Materials: Primary exterior siding material to be unpainted brick or natural stone. Stucco, metal, wood or similar materials used for ornamental details are permitted but may comprise no more than 20% of the facade elevation.

Roof: Low, sloped roof concealed behind parapet walls from public streets.

Parapet: Parapet walls may be between 2 feet and 5 feet above top of roof at front façade.

Walls: Parapets at side and rear will not exceed front parapet wall height.

Entrance: Main entrance shall be located on front of building. Entrance shall be recessed 3 to 6 feet back from front façade.

Porches: None at front elevation. Small porches permitted at side and rear entrances, not to exceed 35 square feet of covered porch area.

Fenestration: Window and glazed door openings on the front elevation, including sashes, casings and mullions, shall comprise between 35% and 60% of the first floor elevation.

The first floor wall area shall be measured horizontally from exterior corner to corner and vertically from the sidewalk or grade adjoining the building to the top of the roof beyond the parapet wall.

Side openings for doors and windows shall not exceed a total of 50 percent of side elevation.

Glazing: Reflective or heavily tinted glass is not permitted. Glazing shall allow clear view of interior space. Visible light transmission percentage shall not be less than 65%.

Signage: Signage on the façade of the building shall be limited to wall signs, awning signs, marquee signs, hanging signs and window signs not to exceed a cumulative sign face area of 1.5 square feet per linear foot of frontage of building, unit or tenant space. One side wall or rear wall of a detached building may be used for one painted sign not included in the cumulative total. Such painted sign is limited to no more than 15% of the side or rear elevation of the detached building on which it is applied. Roof signs are only permitted on gable or hip roofs. The length of a roof sign shall not exceed 50 feet of the length of the ridge of the roof on which it is located. The height of a roof sign shall not exceed one-third of its length.

Awnings: Open, exposed frame fabric awnings only. See “Awnings.”

EXHIBIT

Mercantile 2 or 3 story Non-Residential Building

Description: Commercial building that is characteristic of turn of the century urban, commercial architecture. This is an ideal mixed-use prototype for ground floor retail with commercial or residential occupancies on the upper floors. Buildings may be free standing but are often constructed with zero lot line setbacks at the sides and share a party wall with adjacent modules. Large display windows dominate the street level facade of the building with smaller individual openings at the upper levels.

Massing: Simple massing with parapet walls concealing low slope roof beyond.

Parapet walls may be stepped to follow sloping roof at sides and may have profiles at front to emphasize signage or ornament. Mercantile buildings at corners of major intersections (one street shall be an arterial or collector) shall have two front elevations for the purposes of these design standards.

Height: The two-story building shall have a maximum height of 32 feet including all parapet walls, with the first floor having a minimum of 12' floor-to-ceiling height.

The three-story building shall have a maximum height of 44 feet including all parapet walls.

Width: Maximum width facing street - 50-foot module. Modules can be connected with fire-rated party walls to form a single building up to 150 feet wide.

Façade Depth: Other than for recessed entrances within the module, columns, pilasters, cornices and other projecting or receding elements of the facade may vary by no more than 2 feet from the average face of the facade.

Materials: Primary exterior siding material to be unpainted brick or natural stone. Stucco, metal, wood or similar materials used for ornamental details are permitted but will occupy no more than 20% of the total façade area of a detached building, unit or tenant space.

Entrance: Main entrances into ground floor spaces shall be located on front of building. Entrances shall be recessed 3 feet - 6 feet back from front facade to keep door swings out of sidewalk walking path. Entrances to lobbies for upper floors may be located at front sides or rear of the building.

Building Orientation and Entrance. Front facades of non-residential buildings shall be oriented towards commercial/main streets within the mixed-use tract, with an everyday public entrance in this front facade. When buildings are located on corners, the entrance may be located on the corner with an appropriate building articulation, such as a chamfered corner, turret, canopy, or other similar building feature. The municipal governing body may allow front facades to face existing streets rather than proposed streets, when these facades will extend an existing commercial district located along this existing street.

Walls and Windows. Blank walls shall not be permitted along any exterior wall facing a street. Exterior walls in these locations shall meet the following criteria:

Such walls shall have architectural treatments that are the same as the front facade, including consistent style, materials, colors, and details.

Windows. The ground floor of any wall facing a street shall contain windows in accordance with the following requirements:

Facades along planned street plazas or open space (public or private) shall be glazed with no less than 50% of the ground story measured between the ground and 10 feet above the ground.

The ground floor front facades of retail commercial uses, personal service businesses, and restaurants shall consist of at least 35% window area, but not more than 75% window area, with views provided through these windows into the business.

Except for institutional uses, all other ground floor walls facing a street shall contain at least 5% window area but not more than 75% window area, with views provided through these windows into the business.

For institutional uses, ground floor walls facing a street, parking area, or walking area shall not consist of more than 75% window area.

Dark tinted glass or reflective glass in windows is prohibited.

Walls or portions of walls where windows are not provided shall have architectural treatments designed to break up the bulk of the wall, including at least four of the following treatments: masonry but not flat block; concrete or masonry plinth at the base of the wall; belt courses of a different texture or color; projecting metal canopy; decorative tilework; trellis containing plantings; medallions; opaque or translucent glass; artwork, vertical visual articulation, horizontal visual articulation; lighting fixtures; or a similar architectural element not listed above, as approved by the municipal governing body.

Roofs:

Low sloped roof concealed behind parapet walls from public streets.

Parapet Walls: Parapet walls may be between 2 feet and 5 feet above top of roof at front facade. Parapets at side and rear will not exceed front parapet wall height.

Non-residential buildings must have at least a 3-foot off-set in all facades or roofs for every 40 feet of continuous facade. Such off-sets may be met through the use of bay windows, porches, porticos, building extensions, towers, bays, gables, dormers, steeples, and other architectural treatments.

Landscaping

Landscaping shall be required in accordance with the existing regulations set forth in Section 27-A

Landscape Regulations and Tree Preservation.

Landscape shall be done within the setback area except where there is a ground floor entry or retail frontage. Where the ground floor entry or retail frontage occur, there shall be paved hardscape matching the grade and material of the sidewalk adjacent.

A minimum of 75 percent of front yard area shall consist of sidewalks, benches, tables, plazas or other hardscape features approved by the Director.

Porches: None at front elevation. Small porches permitted at side and rear entrances. Covered porch area is not to exceed 35 square feet.

Awnings: Open, exposed frame fabric awnings only. Operable awnings encouraged.

Bay Windows Not permitted on front elevations. No more than one permitted on side and rear.

Balconies: Balconies or bays shall not be greater than 3'-6" inches deep or greater than 7 feet wide. Upper story balconies can extend over the public right-of-way to a maximum depth of five (5) feet.

Signage: Signage on the façade of the building shall be limited to wall signs, awning signs, marquee signs, hanging signs and window signs not to exceed a cumulative sign face area of 2.5 square feet per linear foot of frontage of a detached building, unit or tenant space. One side wall or rear wall of a building may be used for one painted sign not included in the cumulative total. Such painted sign is limited to no more than 10% of the side or rear elevation of the detached building on which it is applied.

Variations in Heights. At intersections in the CMU, buildings located on corner lots shall utilize variations in building massing to emphasize street intersections as points of interest in the Overlay. Maximum building heights shall exceed by 25% for approximately 20 – 25% of the building frontage along each street façade.

Fenestration: Fenestration shall consist of window and glazed door openings including sashes, perimeter casings and mullions that are less than 12 feet in width.

1. First Floor

Fenestration on the front elevation shall comprise between 35% and 55% of the first-floor wall area. The first-floor wall area shall be measured horizontally from exterior corner to corner and vertically from the sidewalk or grade adjoining the building to the finished floor of the second level of the building.

Window glazing at the first floor shall be raised a minimum of 1'-6" above the sidewalk level.

Fenestration on the sides and rear of the building shall not exceed 55% of the first-floor elevation.

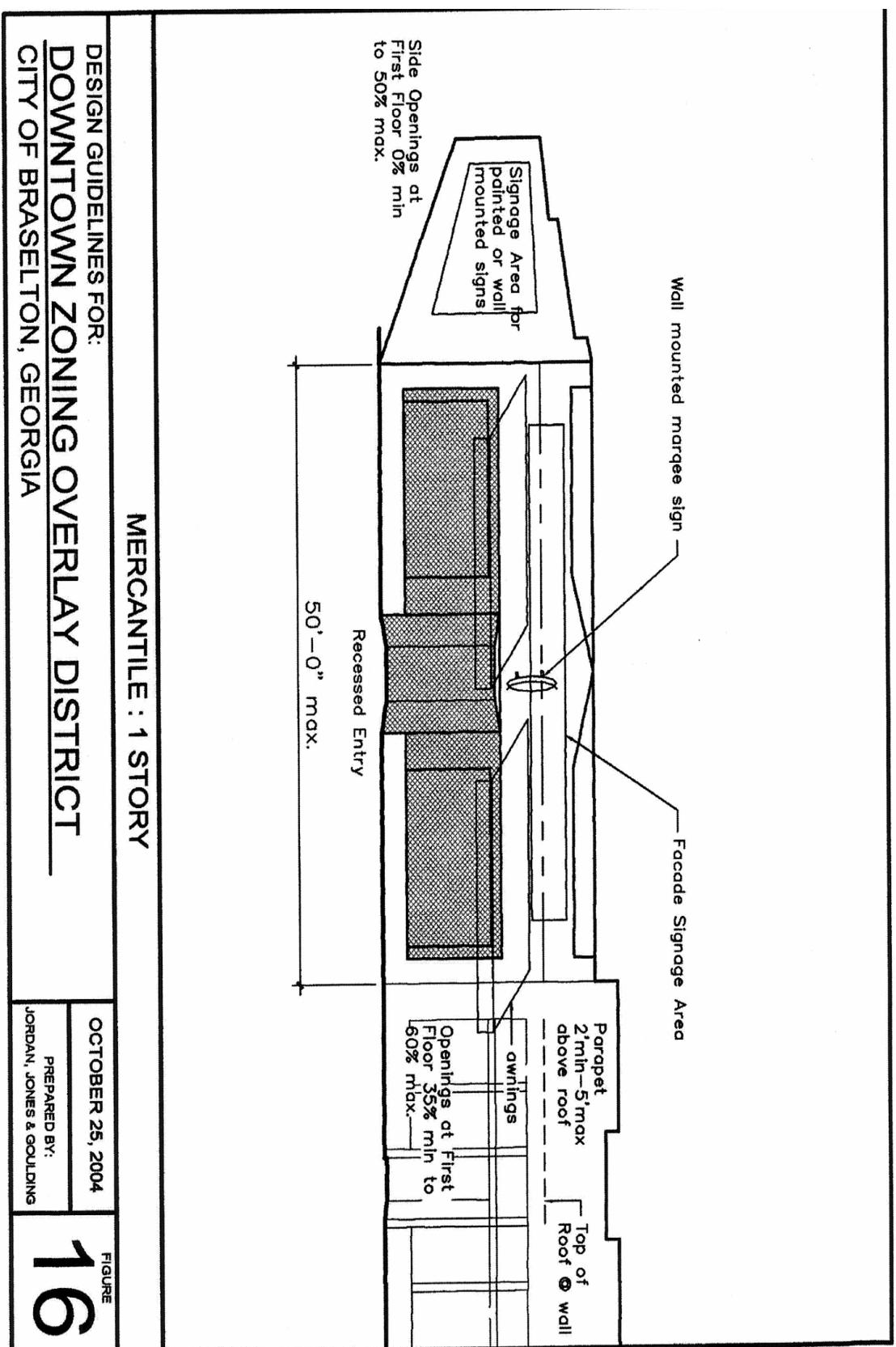
2. Upper Floors

Fenestration on the upper floors shall consist of individual openings, single openings not to exceed 30 square feet, double openings not to exceed 54 square feet each.

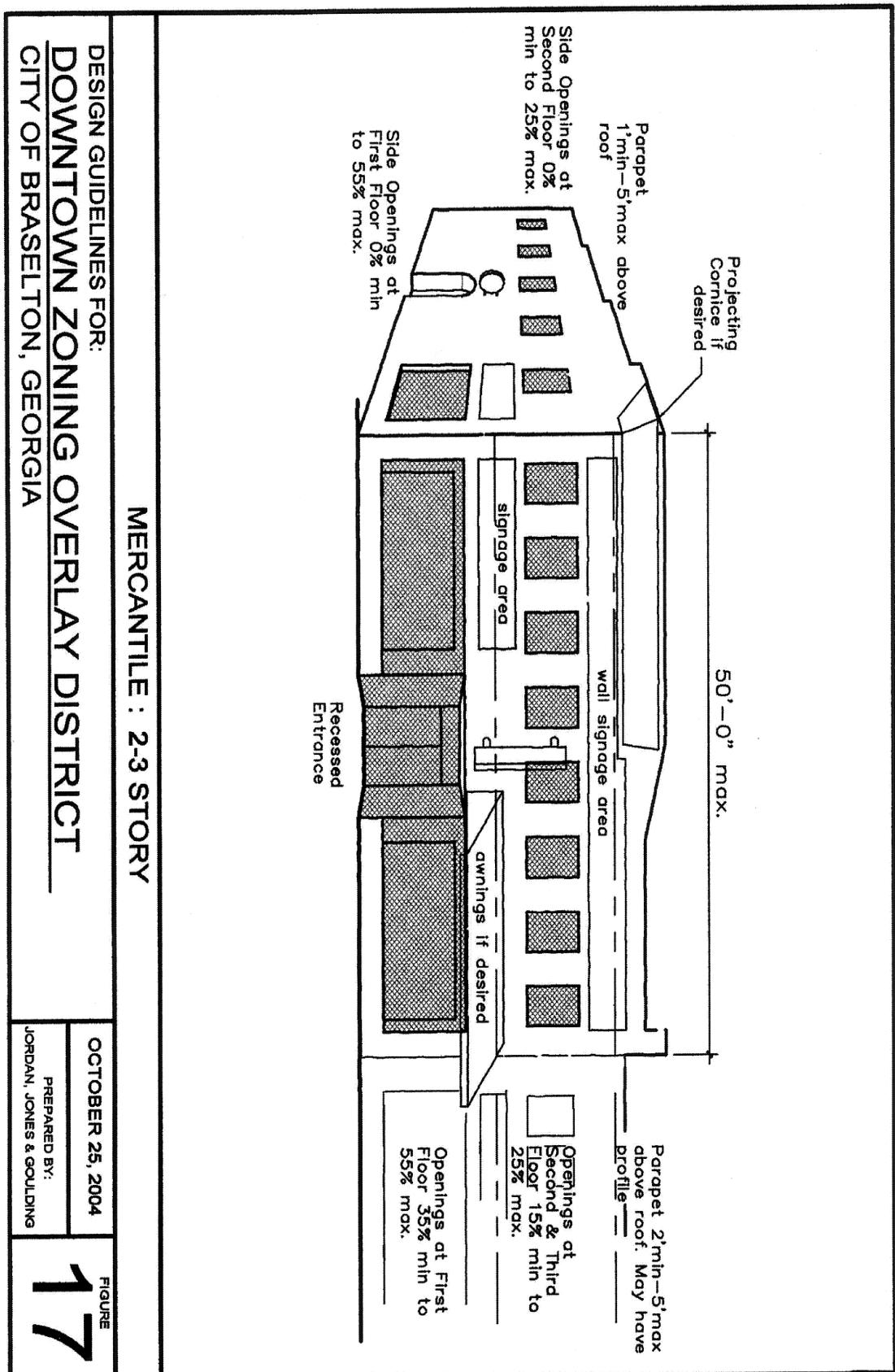
Windows shall be equally spaced or symmetrically arranged on the facade.

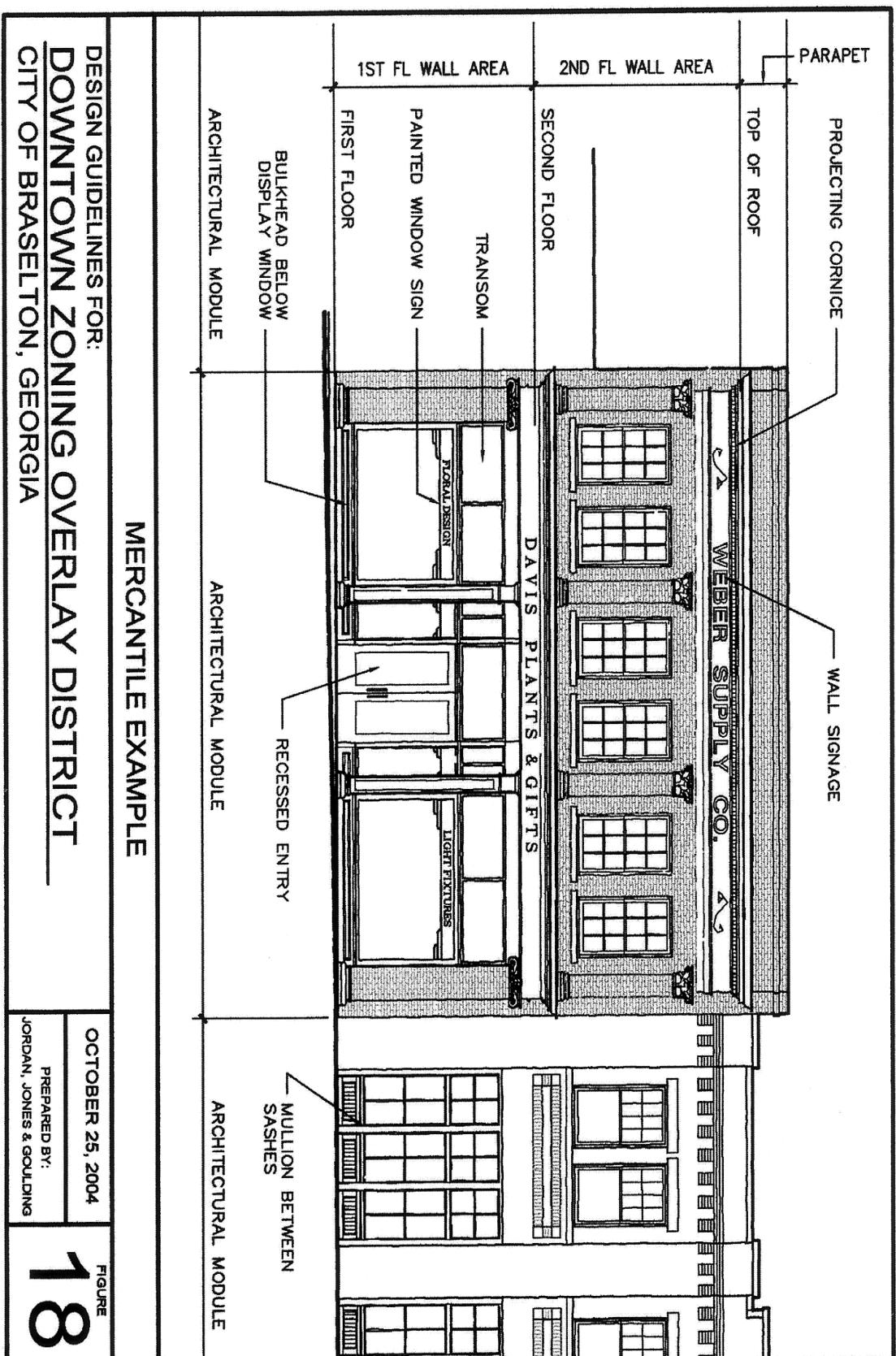
Total area of fenestration on the front of the building shall be between 15% and 25% of upper floor wall area and shall not exceed 25% on side and rear elevations.

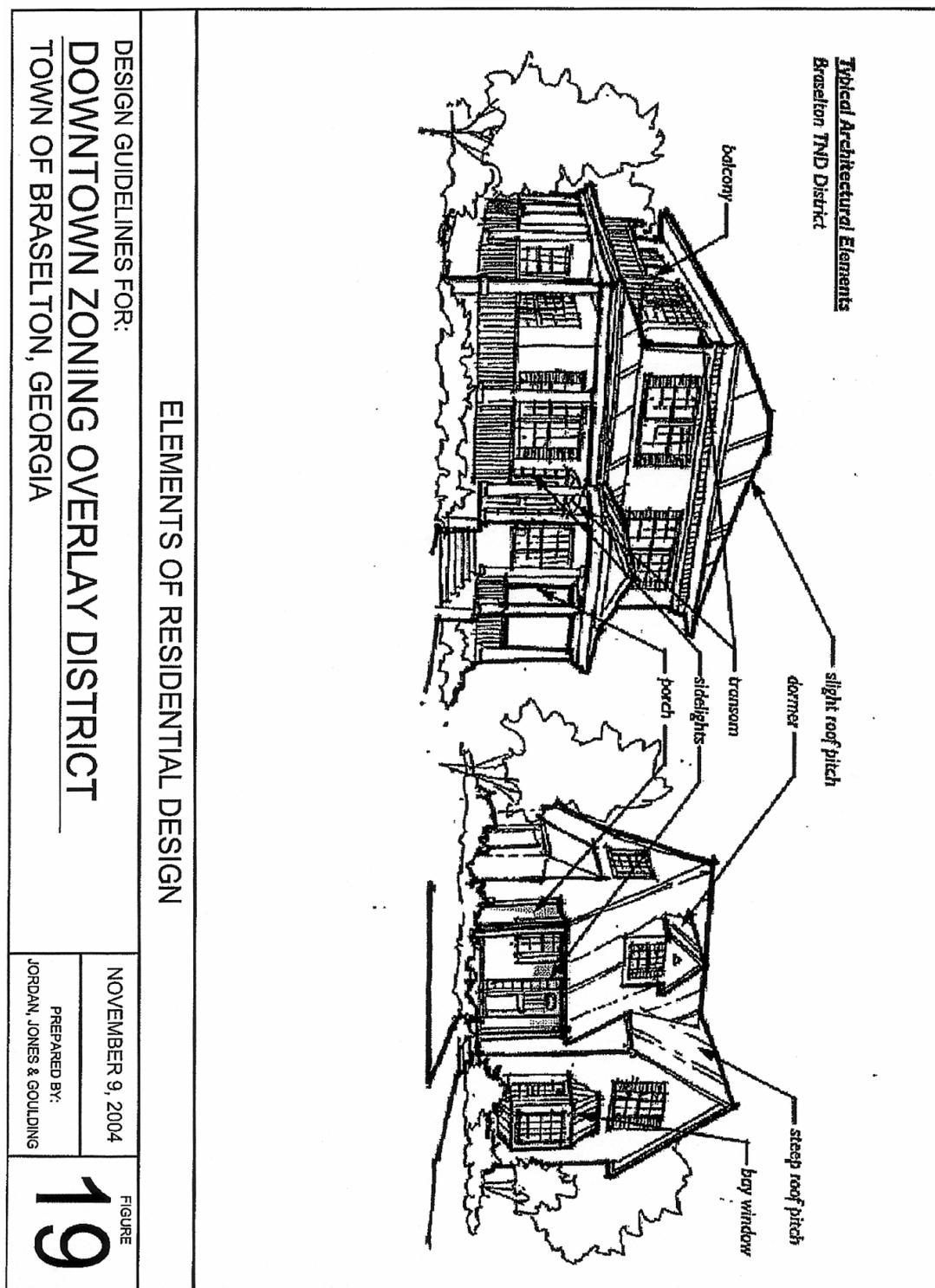
Wall area is measured horizontally from exterior corner to corner and vertically from floor to floor or floor to top of roof as applicable.



<p>MERCANTILE : 1 STORY</p> <p>DESIGN GUIDELINES FOR: DOWNTOWN ZONING OVERLAY DISTRICT CITY OF BRASSELTON, GEORGIA</p>	<p>OCTOBER 25, 2004</p>	<p>FIGURE 16</p>
	<p>PREPARED BY: JORDAN, JONES & GOULDING</p>	







Architectural Features, UDO Sec. 6.3.1 (H)(2)(a)

Architectural Features

Residential structures shall have three (3) or more of the following features:

Wrap around porch (entire front façade and part of one or both side façades)

Predominant porch (over 75% of front façade)

Awnings

Columns

Porticos

Balconies

Broken roof lines

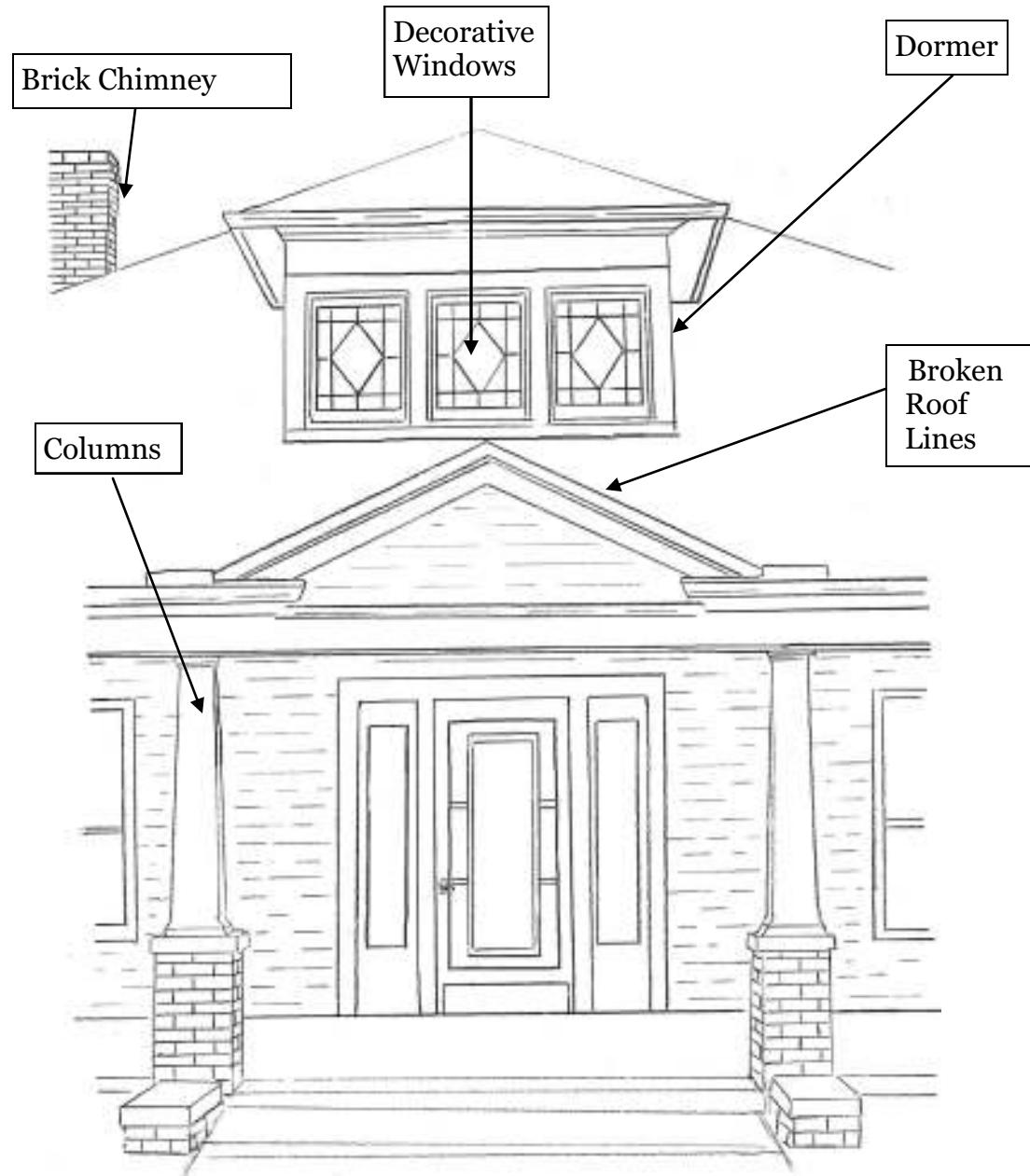
Dormers

Arched architectural features

Brick chimney

All brick façade

Other architectural features as approved by the Planning Director



Decorative Features, UDO Sec. 6.3.1 (H)(2)(b)

Decorative Features

Residential structures shall have four (4) or more of the following features:

Decorative shake

Decorative porch railing/
posts

Shutters

Decorative/functional air
vents on roof or foun-
dation

Trimmed Windows

Recessed windows

Decorative/period win-
dows

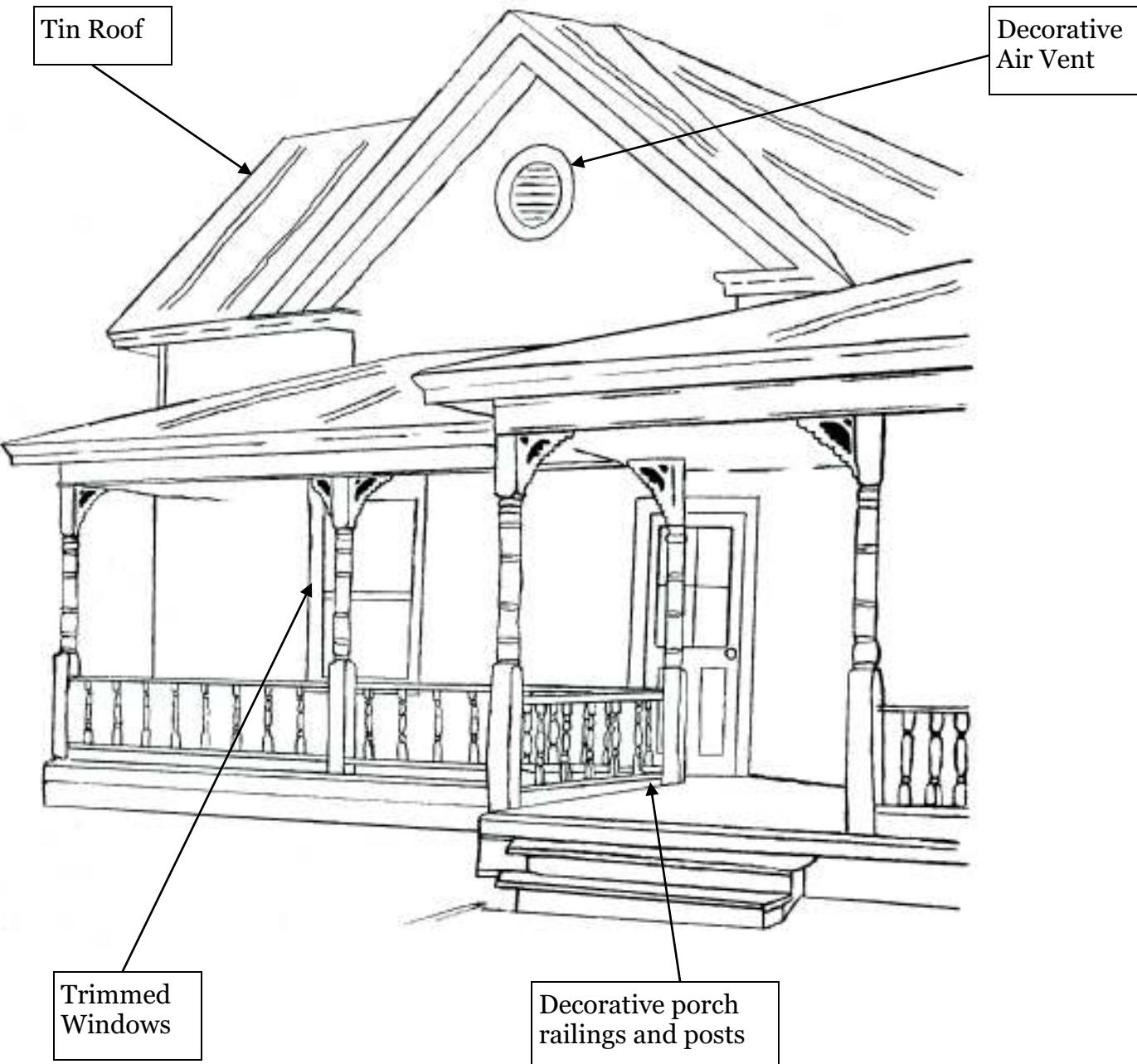
Decorative brick/stone

Decorative gables

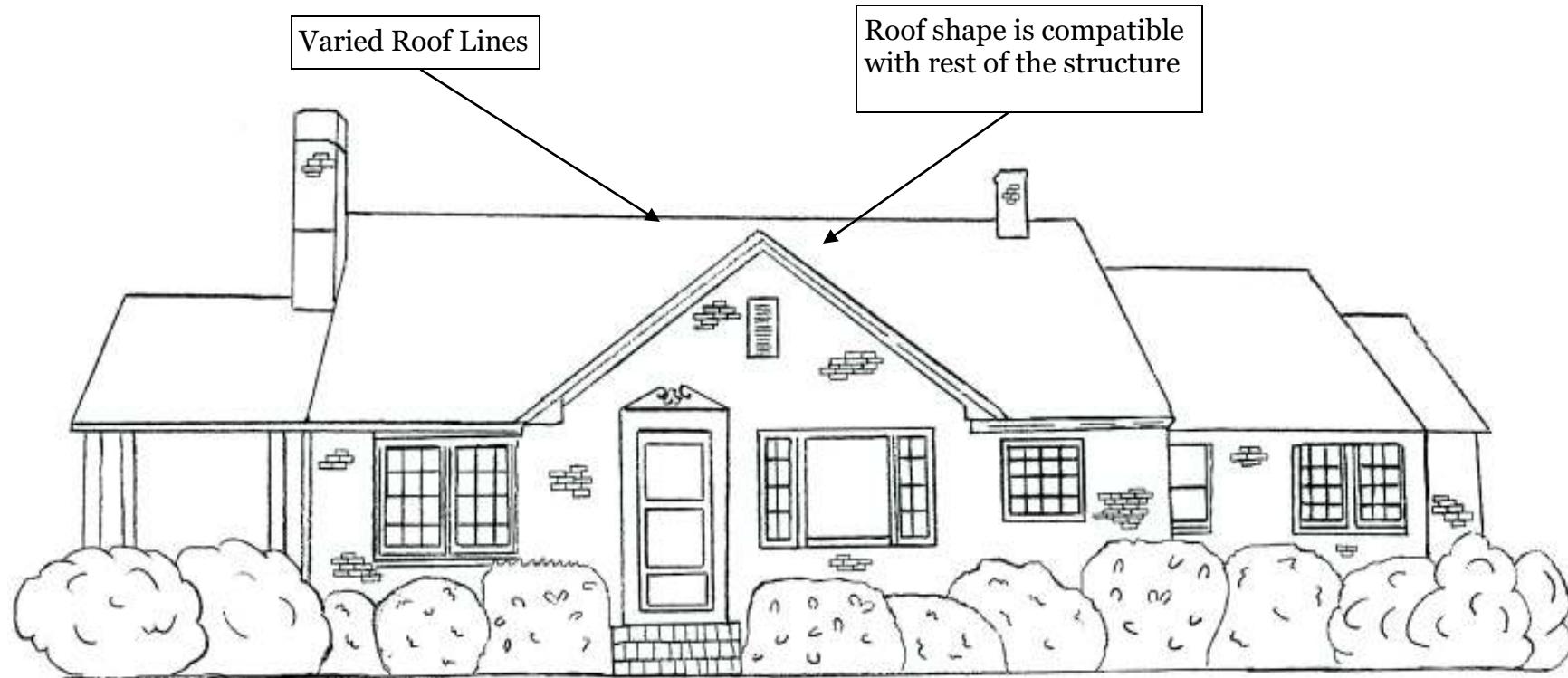
Decorative cornices

Tin/metal roof

Other decorative features
as approved by the Plan-
ning Director



Residential Standards-Roofs, UDO Sec. 6.3.1 (H)(2)(c)

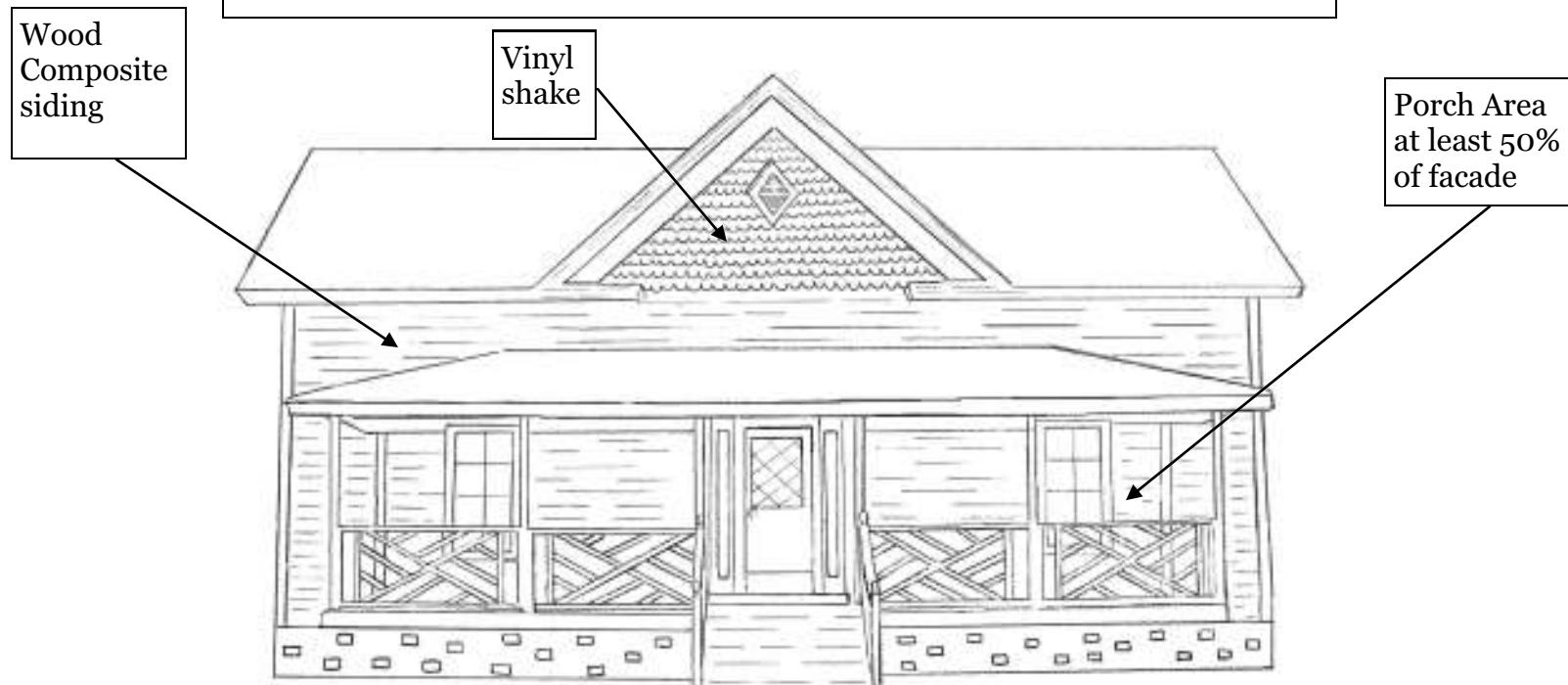


Roofs

Roof lines shall be varied to reduce the scale of structures and add visual interest.

Roof shape (for example: flat, hip, mansard, or gable) and material shall be architecturally compatible with façade elements and the rest of the structure.

Residential Standards-Facades, UDO Sec. 6.3.1 (H)(2)(d)



Facades

The width of the façade shall not be any wider than 1.5 feet times the depth of the principal structure. The width to depth ratio shall be no more than 1.5 feet to 1 foot.

Recesses and projections:

The principal structure's front façade must incorporate recesses and projections along at least 50 (fifty) percent of the length of the façade. Windows, awnings, and porch area shall total at least 50 percent of the façade length abutting a public street.

Repeating design patterns:

Façades shall incorporate a repeating pattern of change in color, texture, and material modules.

Renovations:

Façade renovations shall incorporate original building details to the maximum extent practicable.

Materials:

The façade exterior siding shall be brick, stone, wood, wood composite, or fiber cement (or combination thereof). Vinyl shall only be used for exterior shake and trim elements and shall not be used as the siding material.

Roof cornices:

If roof cornices have been removed or damaged on an existing structure, renovations of that structure must include retaining, repairing, and replacing the roof cornices.

Residential Standards-Windows, UDO Sec. 6.3.1 (H)(2)(e)



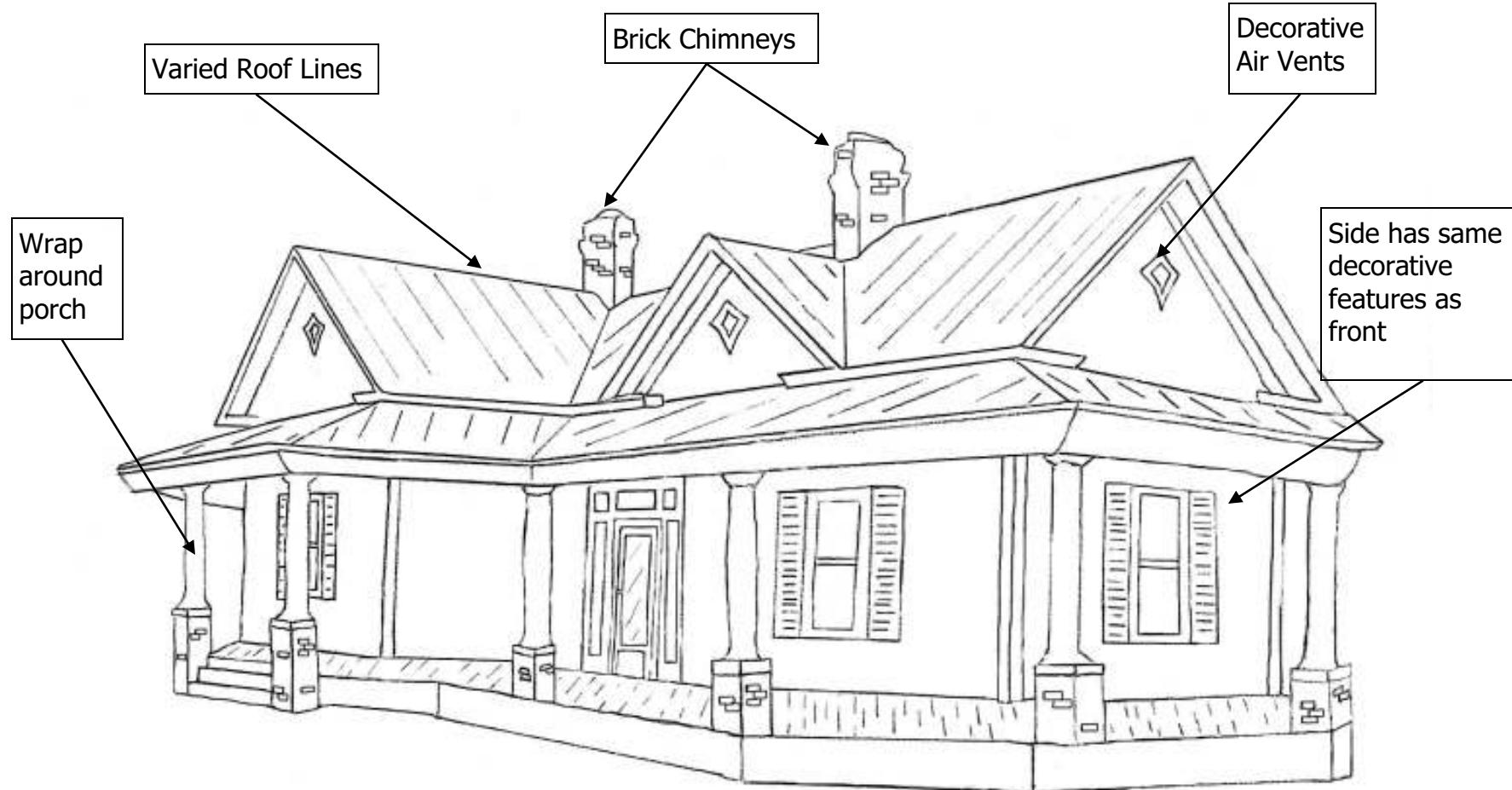
Windows

Replacement of windows on the façade of an existing structure shall be accomplished by using windows of the same trim size and character as the original.

Blank exterior walls are prohibited; windows shall be present on all sides of the home.

Shutters on windows shall be one half the width of the window to which they are affixed.

Residential Standards-Sides facing public street, UDO Sec. 6.3.1 (H)(2)(f)



Sides Facing Abutting Street

All sides of a principal structure that face an abutting public street shall have architectural and decorative features as described in Section 6.3.1(H)(1)(a) and (b).

Residential Standards-Entryways & Materials, UDO Sec. 6.3.1 (H)(2)(g)(h)



Entryways

Required features:

Doors shall have built-in windows; alternatively, a solid door is allowed provided side lights (side windows) are installed immediately adjacent to the solid door.

Variation:

Variations in color schemes and textures are encouraged in order to articulate entryways so as to give greater recognition to these features.

Materials

Predominant exterior building materials:

Predominant exterior building materials shall be high quality materials, including brick, wood, stone, fiber cement, and/or wood composite. Vinyl shall only be allowed in the form of shake and trim elements.

Foundations:

No slab on grade foundations are permitted. Foundations around the principal structure shall be fully enclosed. Front and side porches with open foundations shall have brick or stone piers and openings shall be fully screened with evergreen plantings.